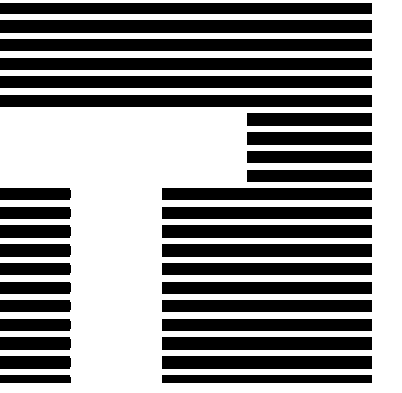


**SHEET INDEX**

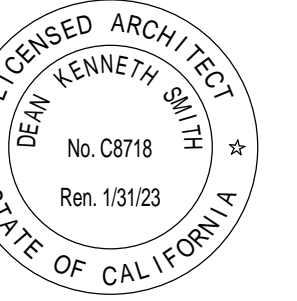
DD1.0	COVER SHEET	
DD1.1	SITE PLAN	
DD1.2	SITE SECTION	
DD1.3	SIGN PROGRAM	
DD1.4	TRASH & RECYCLE	
DD2.0	FLOOR PLANS	BUILDING A
DD3.0	EXTERIOR ELEVATIONS	BUILDING A
DD3.1	COLORED ELEVATIONS	BUILDING A
DD3.2	3D EXTERIORS	BUILDING A
DD4.0	ROOF PLAN	BUILDING A
DD5.0	FLOOR PLANS	BUILDING B
DD6.0	EXTERIOR ELEVATIONS	BUILDING B
DD6.1	COLORED ELEVATIONS	BUILDING B
DD6.2	3D EXTERIORS	BUILDING B
DD7.0	ROOF PLAN	BUILDING B
DD8.0	FLOOR PLANS	BUILDING C
DD9.0	EXTERIOR ELEVATIONS	BUILDING C
DD9.1	COLORED ELEVATIONS	BUILDING C
DD9.2	3D EXTERIORS	BUILDING C
DD10.0	ROOF PLAN	BUILDING C

E1 - EX	SITE LIGHTING PLANS
C-1-C-X	PRELIMINARY GRADING PLANS
L-1 - LX	PRELIM. LANDSCAPE PLANS

**TECH CONTRACTORS**



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.2865



SPD -



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule		
#	Date	Description

NEW INDUSTRIAL DEVELOPMENT  
**LOT 3**  
CARLSBAD OAKS NORTH

**LOT 3  
CARLSBAD OAKS  
NORTH**

**DD1.0**

### SITE LEGEND

- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING POLE MOUNTED LIGHT STANDARD
- PROPOSED POLE MOUNTED LIGHT STANDARD
- POST INDICATOR VALVE
- FIRE DEPARTMENT POINT OF CONNECTION
- REDUCED PRESSURE DETECTION ASSEMBLY (RPDA) OR DOUBLE CHECK VALVE ASSEMBLY (DCVA) PER JURISDICTION
- NUMBER OF PARKING
- HANDICAP PARKING SYMBOL
- EVSE CAPABLE, PROVIDE EMPTY CONDUIT FOR FUTURE VEHICLE CHARGING STATION
- EVSE INSTALLED, PROVIDE CHARGING STATION RECEPTACLE, ONE DOUBLE STATION MAY SERVE TWO PARKING SPACES.

### ACCESSIBLE PATH OF TRAVEL

NEW PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2". VERTICAL CHANGES BETWEEN 1/4" AND 1/2" SHALL BE BEVELED AT 1:2 MAXIMUM SLOPE FOR THAT PORTION GREATER THAN 1/4" AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM A WALL AND ABOVE 27" AND LESS THAN 80" (11B-307.3).

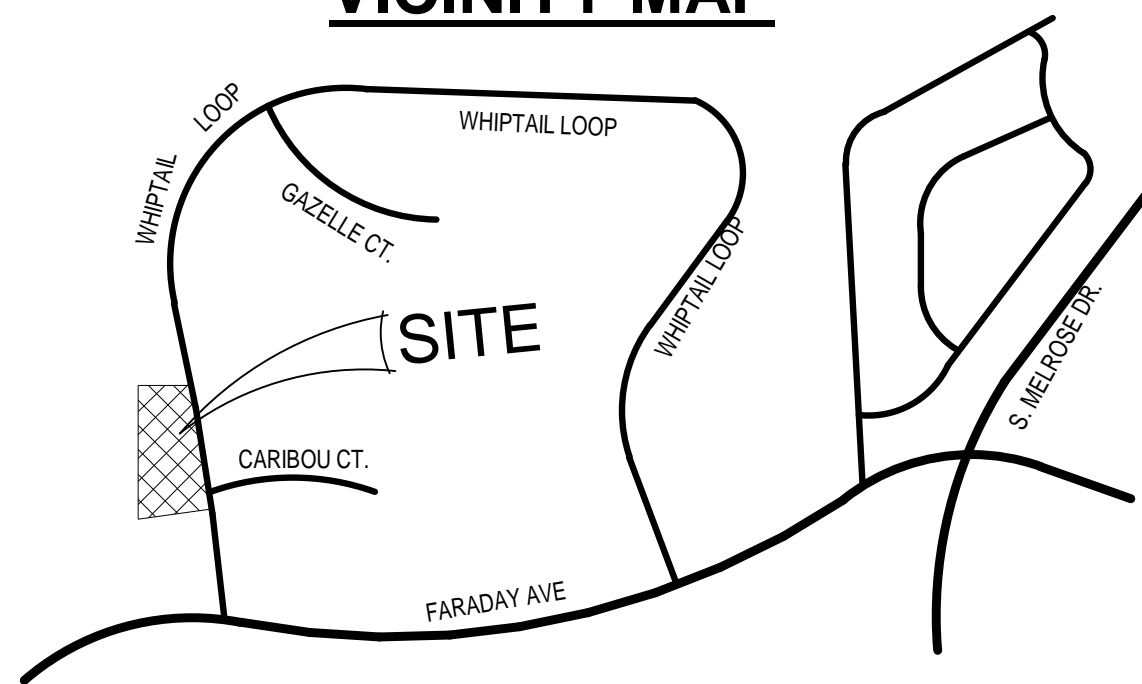
### GENERAL SITE PLAN NOTES

1. YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
2. THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), THE 2019 CALIFORNIA ELECTRICAL CODE (CEC), THE 2019 CALIFORNIA MECHANICAL CODE (CMC), THE 2019 CALIFORNIA PLUMBING CODE (CPC), THE 2019 CALIFORNIA FIRE CODE (CFC), IN ADDITION TO ALL THEIR RESPECTIVE 2019 CALIFORNIA AMENDMENTS, AND THE CURRENT EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.
3. NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED IN THIS BUILDING IN EXCESS OF THE QUANTITIES LISTED IN CBC TABLES 307.1 (1) AND 307.1 (2).
4. ALL PROPERTY LINES, EASEMENTS, STREET AND EXISTING AND PROPOSED STRUCTURES ARE SHOWN ON THIS SITE PLAN.
5. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
6. FIRE HYDRANTS ARE TO COMPLY WITH THE CITY'S ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON-SITE FIRE HYDRANTS.
7. ALL CURBING WHICH OUTLINES THE ACCESS ROADWAY SHALL BE PAINTED RED. WHITE, 4" HIGH LETTERING READING "NO PARKING - FIRE LANE" SHALL BE STENCILED EVERY 30'-0" ON THE RED CURB. IF NO CURB IS PRESENT, AN 8" WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THIS 8" STRIPE SHALL BE MARKED WITH 4" HIGH WHITE LETTERING EXACTLY AS IF IT WERE A CURB.
8. BACKFLOW PROTECTION OF WATER CONNECTION TO FIRE PROTECTION SYSTEMS SHALL BE PROVIDED PER UPC, SECT. 603.5.15.

### MISCELLANEOUS NOTES

1. CLEARING OF VEGETATION, INCLUDING ALL NATIVE HABITAT AS WELL AS NON-NATIVE HABITAT SHALL BE PERFORMED OUTSIDE OF THE PERIOD FROM FEBRUARY 15 THROUGH AUGUST 30.
2. CONSTRUCTION TRENCHES SHOULD BE INSPECTED DAILY AND ANY TRAPPED WILDLIFE SHALL BE REMOVED AND RELEASED UNHARMED INTO NATIVE VEGETATION A HUNDRED OR MORE FEET FROM THE CONSTRUCTION AREA. CONSTRUCTION FENCING SHALL BE EMPLOYED WHERE APPROPRIATE TO MINIMIZE IMPACTS TO WILDLIFE DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE FAMILIAR WITH THE "SUMMARY OF ENVIRONMENTAL IMPACT MITIGATION MEASURES" CONTAINED IN THE CON SPECIFIC PLAN SP 211 AND TAKE ALL NECESSARY ACTION TO MAKE SURE THAT THESE MEASURES ARE SATISFIED.
4. THIS PROJECT IS LOCATED WITHIN A "HIGH FIRE HAZARD SEVERITY ZONE".
5. THIS IS A SHELL BUILDING. THIS BUILDING CAN NOT BE OCCUPIED UNTIL THE SUBSEQUENT TENANT IMPROVEMENTS HAVE BEEN REVIEWED & APPROVED BY THE BUILDING DEPT.
6. THIS PROJECT SHALL COMPLY WITH EIR 98-08 MITIGATION MEASURES AND CARLSBAD OAKS NORTH SPECIFIC PLAN PERFORMANCE STANDARDS.
7. A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE IRRIGATION USE THAT CONFORMS TO THE LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE. WHERE NO LOCAL ORDINANCE EXISTS, SHOW COMPLIANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
8. PRIOR TO FINAL APPROVAL OF THE BUILDING, THE LICENSED CONTRACTOR IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE CITY GREEN BUILDING STANDARDS CERTIFICATION FORM GIVEN TO THE BUILDING DEPARTMENT OFFICIAL TO BE FILED W/ THE APPROVED PLANS.

### VICINITY MAP



### UTILITY & SCHOOL DISTRICTS

CARLSBAD MUNICIPAL WATER DISTRICT  
5950 EL CAMINO REAL  
CARLSBAD, CALIFORNIA 92008  
760-602-2420

CITY OF CARLSBAD WASTEWATER DIVISION  
5950 EL CAMINO REAL  
CARLSBAD, CALIFORNIA 92008  
760-438-2722

CARLSBAD UNIFIED SCHOOL DISTRICT  
6225 EL CAMINO REAL  
CARLSBAD, CALIFORNIA 92009  
760-331-5000

### TRAFFIC GENERATION

TRIPS CALCULATED PER SANDAG 2002 BRIEF GUIDE OF VEHICULAR TRAFFIC GENERATION RATES FOR THE SAN DIEGO REGION.

USE	SQ. FT.	TRIPS PER 1000	TRIPS
OFFICE	20,000	7	140.0
MANUF	41,500	10	415.0
WAREHOUSE	6214	5	282.5
<b>TOTAL</b>			<b>837.5</b>

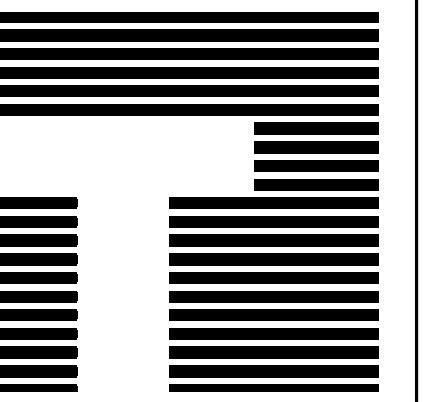
LANDSCAPE ARCHITECT  
HOWARD ASSOCIATES  
1951 FOURTH AVENUE  
SUITE 302  
SAN DIEGO, CA 92101  
PH: 619-871-0772

ARCHITECT  
TECH CONTRACTORS  
3575 KENYON STREET  
SUITE 200  
SAN DIEGO, CA 92110  
PH: 619-223-1663

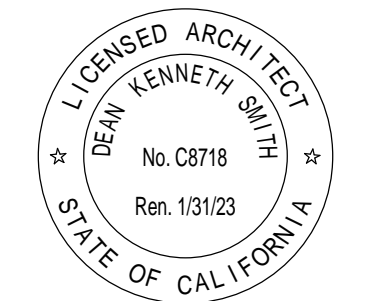
CIVIL ENGINEER  
SPEAR & ASSOCIATES, INC.  
475 PRODUCTION ST.  
SAN MARCOS, CA 92078  
PH: 760-736-2040

OWNER  
CARLSBAD OAKS NORTH  
VENTURES, LP  
3575 KENYON STREET  
SUITE 200  
SAN DIEGO, CA 92110  
PH: 619-223-1663

### TECH CONTRACTORS

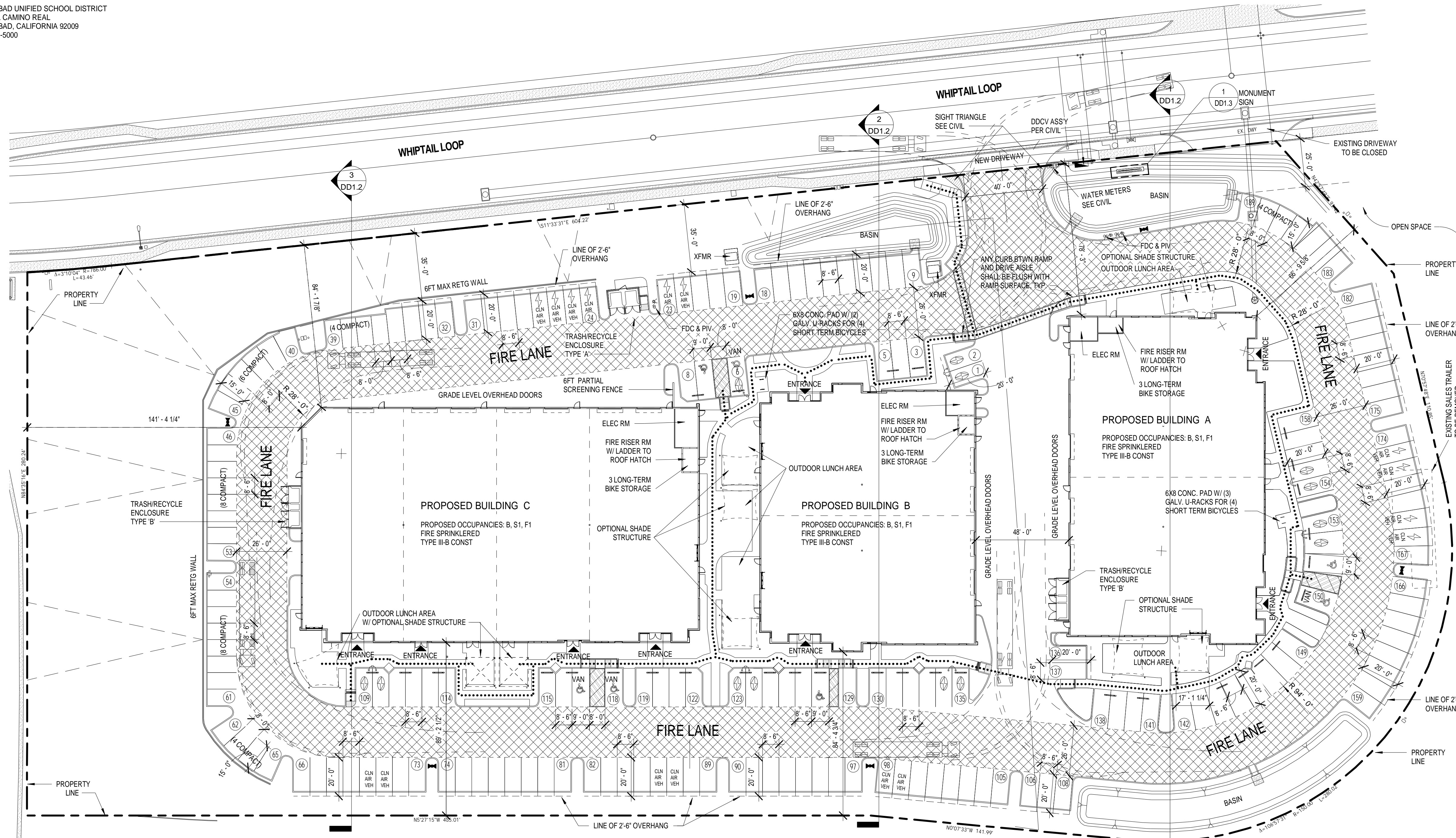


3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.2865



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule		
#	Date	Description



### SITE INFORMATION

SITE AREA:	225,714 SF	5.18 ACRES
PROPOSED BUILDING COVERAGE:	56,141 SF	24.87%
PROPOSED LANDSCAPE AREA:	86,345 SF	38.25%
PROPOSED PAVING AREA:	83,228 SF	36.87%
TYPE OF DEVELOPMENT:	INDUS	
LUNCH AREA	(w/ TABLES, BENCHES & TRASH BINS): (300 S.F. PER 5000 S.F. OF BLDG)	
	(67,714.00 / 5000) x 300 =	4062.84 SF REQUIRED
INTERIOR LUNCH AREA (TO BE PROVIDED w/T.I.)	0 SF PROVIDED	
EXTERIOR LUNCH AREA	5000 SF PROVIDED	
TOTAL =	5000 SF PROVIDED	

### PARKING TABULATION

USE	FACTOR	SQ. FT.	SPACES
OFFICE	250	20000	80
MANUFACTURING	400	40000	100
WAREHOUSE	1000	7714	7.714
<b>TOTAL PARKING REQUIRED</b>			<b>188</b>

TOTAL PARKING PROVIDED	189
STANDARD	116
COMPACT	34 18%
ADA ACCESSIBLE	6 (MIN 1 SHALL BE VAN TYPE)
EV CAPABLE	8 PER CS-349
EV INSTALLED	9 PER CS-349
CLEAN AIR VEHICLE	16 PER CALGRN TABLE 5.106.5.2

### LEGAL & SUMMARY

LOT 3, TRACT NO. CT 97-13-2  
MAP 15505  
CITY OF CARLSBAD, CA  
APN: 209-120-14  
ADDRESS: WHIPTAIL LOOP  
GENERAL USE: PLANNED INDUSTRIAL  
ZONE P-M  
SPECIFIC PLAN: SP211 - CARLSBAD OAKS NORTH

\*BICYCLE SPACE REQUIREMENTS FOR SHELL INDUSTRIAL BUILDING ASSUMES VEHICLE PARKING TO BE APPROX. 80% TENANT-OCCUPANT AND 20% VISITOR

### SQ. FT. SUMMARY

BUILDING	FLOOR	SQ. FT.
BUILDING A	FIRST FLOOR	16736
	SECOND FLOOR A201	1195
	SECOND FLOOR A202	1342
	SECOND FLOOR A203	1057
	<b>TOTAL SECOND FLOOR</b>	<b>3594</b>
	<b>TOTAL BUILDING A</b>	<b>20330</b>
BUILDING B	FIRST FLOOR	14633
	SECOND FLOOR B201	1393
	SECOND FLOOR B202	1393
	<b>TOTAL SECOND FLOOR</b>	<b>2786</b>
	<b>TOTAL BUILDING B</b>	<b>17419</b>
BUILDING C	FIRST FLOOR	24772
	SECOND FLOOR C201	1370
	SECOND FLOOR C202	1211
	SECOND FLOOR C203	2612
	<b>TOTAL SECOND FLOOR</b>	<b>5193</b>
	<b>TOTAL BUILDING C</b>	<b>29965</b>
<b>OVERALL FIRST FLOOR</b>		<b>56141</b>
<b>OVERALL SECOND FLOOR</b>		<b>11573</b>
<b>GRAND TOTAL</b>		<b>67714</b>

### PHOTOVOLTAICS

BUILDING	GR. AREA	PHOTOVOLTAICS KW REQ'D.*	PHOTOVOLTAICS SQ. FT. REQ'D.**
A	20330	30 KW***	2160
B	17419	26.0 KW***	1872
C	29965	45 KW***	3240

\* ROUNDED PER SEC. 18.30.130  
\*\* ASSUMES 72 SQ. FT. PER KW  
\*\*\* KW PROPOSED ON FUTURE BUILDING PERMITS WILL DIFFER DEPENDING ON ACTUAL SQUARE FOOTAGE PROPOSED

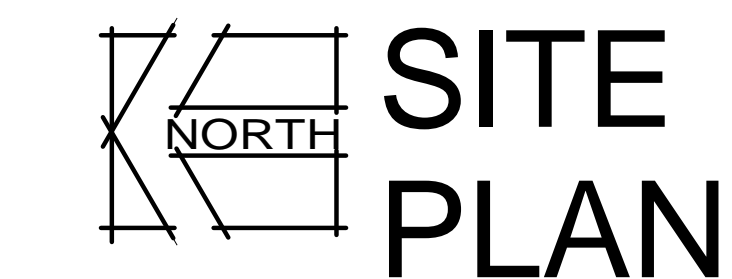
### APPLICATION TYPE:

MINOR SITE DEVELOPMENT PLAN

**APPROVED**

THIS IS THE APPROVED TENTATIVE MAP/SITE PLAN FOR PROJECT NO. \_\_\_\_\_ PER CONDITION NO. \_\_\_\_\_

PLANNING DIVISION    DATE    ENGINEERING DIVISION    DATE



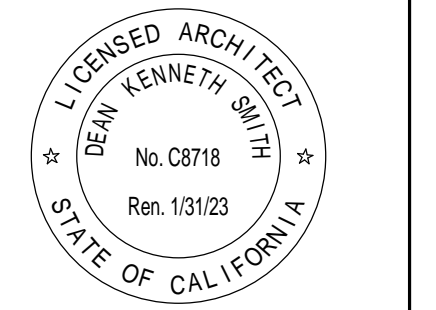
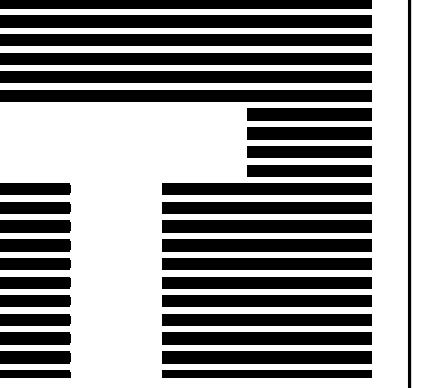
1" = 30'-0"

NEW INDUSTRIAL DEVELOPMENT

**LOT 3**

CARLSBAD OAKS NORTH

**DD1.1**

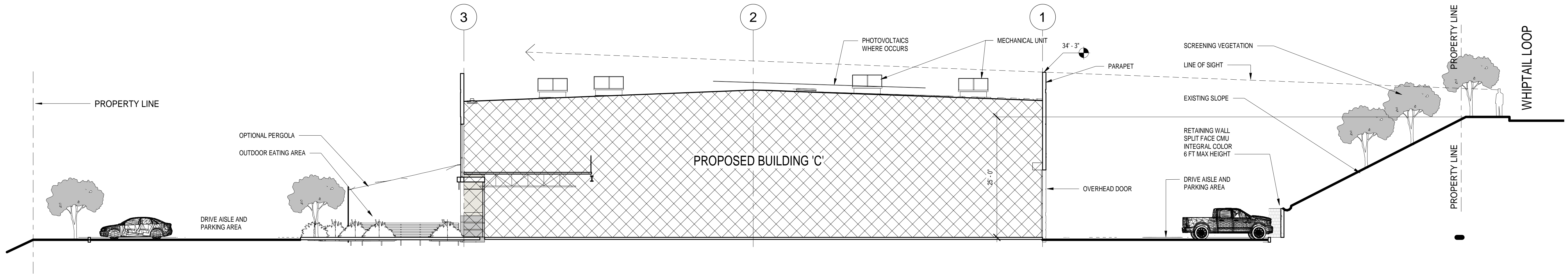


DATE: 6-10-2021  
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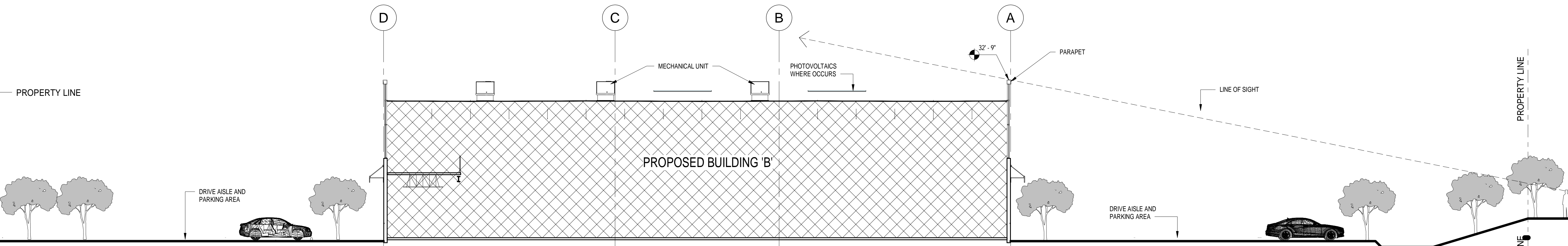
Revision Schedule		
#	Date	Description

NEW INDUSTRIAL DEVELOPMENT  
**LOT 3**  
CARLSBAD OAKS NORTH

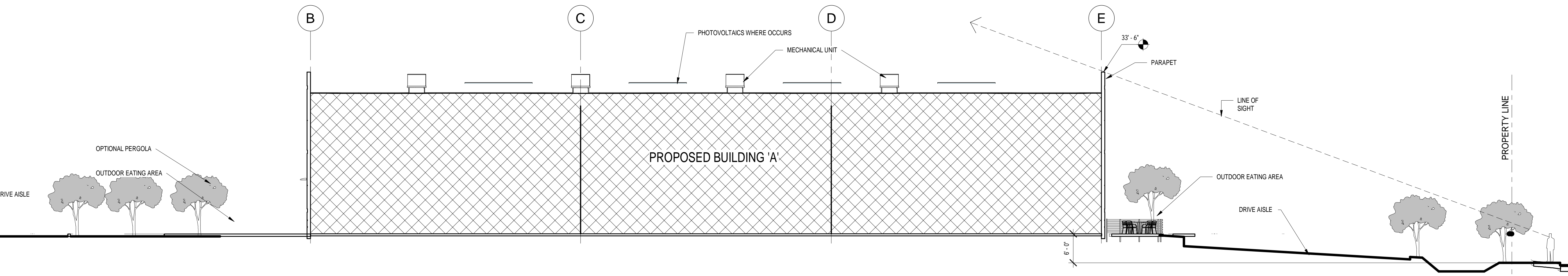
**DD1.2**



**Section**  $\frac{3}{DD1.2}$   
3/32" = 1'-0"



**Section**  $\frac{2}{DD1.2}$   
3/32" = 1'-0"



**Section**  $\frac{1}{DD1.2}$   
3/32" = 1'-0"

6/2/2021 11:10:49 AM D:\00PROJECTS\CARLSBAD\CONCURRENT REVIT MODELS\CON3 SITE.rvt

**WALL SIGN SIZE/LOCATION**  
 PER 21.41 FOR BUILDINGS UNDER 50,000SF:  
 ONLY ONE WALL SIGN OF THIS TYPE IS ALLOWED PER BUILDING ELEVATION.  
 ONLY 2 WALL SIGNS OF THIS TYPE ARE ALLOWED PER BUILDING.

IN ADDITION TO THE ABOVE ORDINANCE RESTRICTIONS, THIS TYPE OF WALL SIGN WILL ONLY BE ALLOWED ONLY AT THE DISCRETION OF THE OWNER, BASED ON SQUARE FOOTAGE AND TERM OF THE LEASE.

**WALL SIGN SPECIFICATIONS**

**SIGN TYPE:**  
 NON-ILLUMINATED INDIVIDUAL LETTERS/LOGO

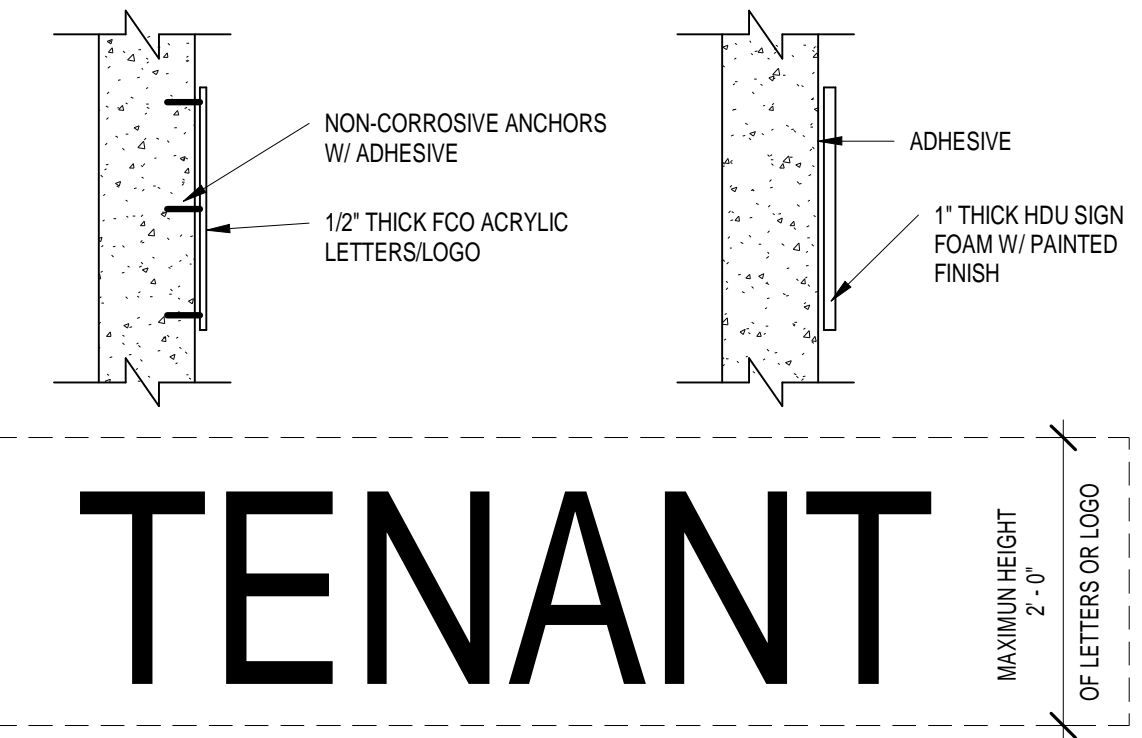
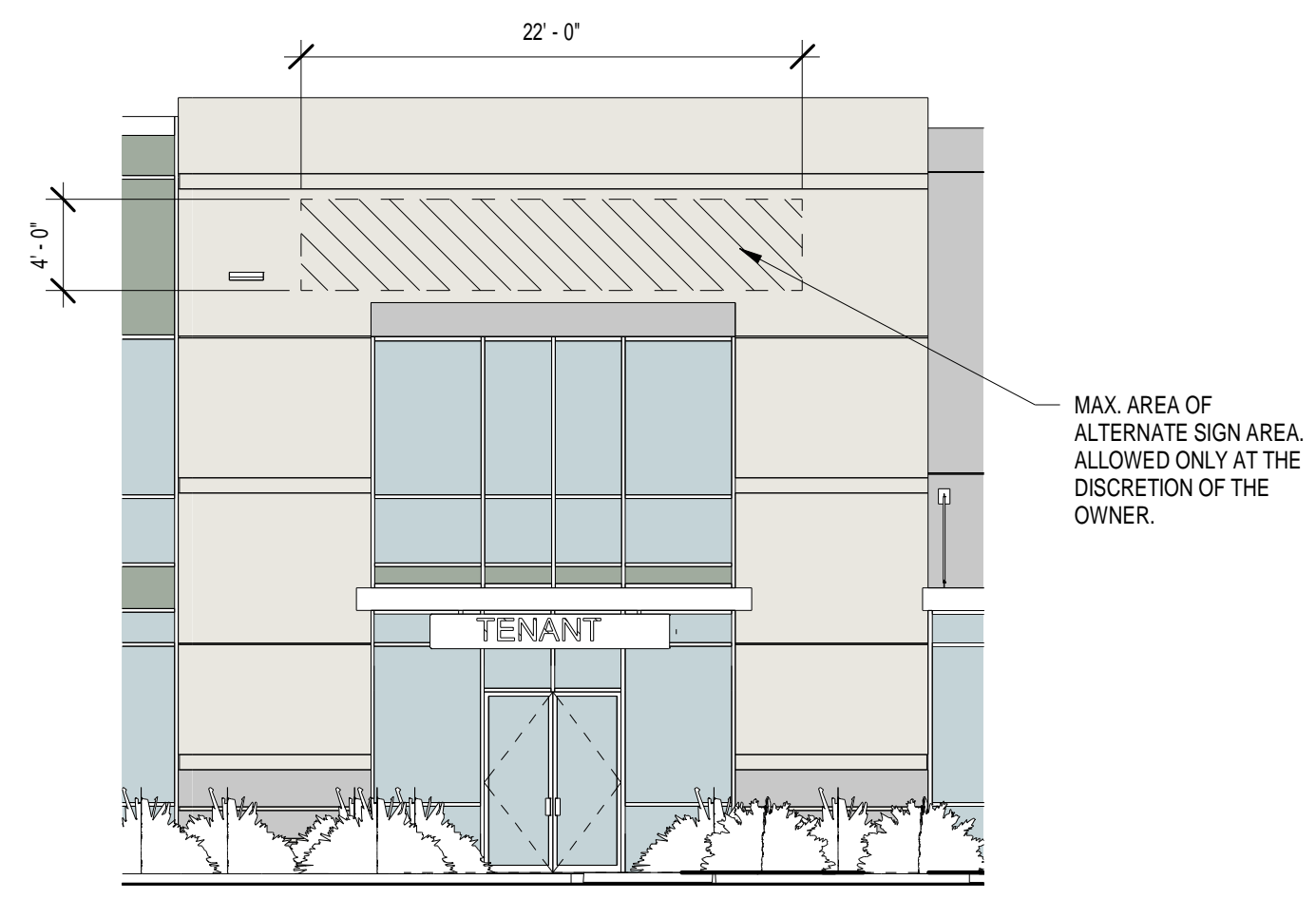
**COLORS:**  
 COLORS MAY BE ANY COLOR NECESSARY TO MEET USER/CORPORATE NEEDS AND MUST BE APPROVED BY BUILDING OWNER

**FONT:**  
 FONT MAY BE ANY FONT MEETING APPROVAL OF BUILDING OWNER.

**NOTES:**  
 FONTS, COLORS AND LOGOS ARE SUBJECT TO LANDLORD APPROVAL.

CUSTOM LOGO AND SECOND LINE OF COPY IS ALLOWED WITHIN ALLOWABLE SIGN AREA.

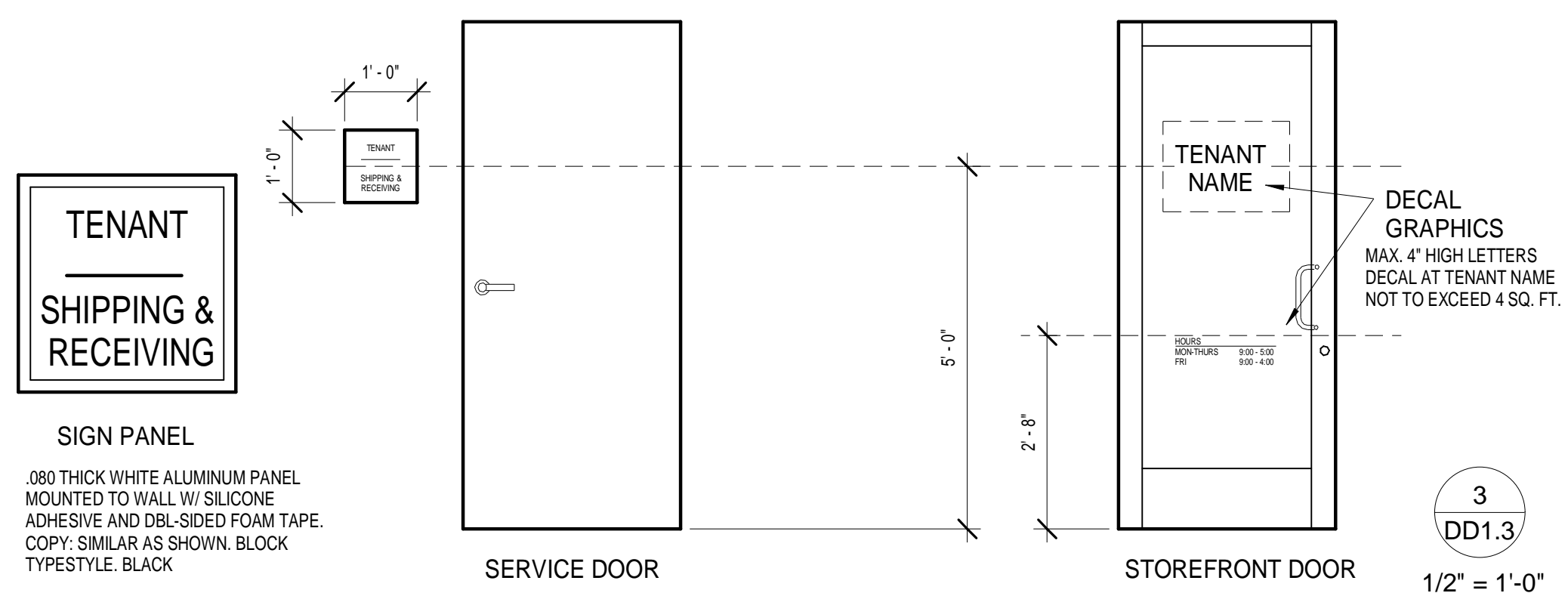
SIGN CONTR SHALL PROVIDE NECESSARY FASTENING AND BRACING TO SECURE INSTALL SIGN AND ACCOMMODATE WIND LOADS, ETC IN CONFORMANCE WITH BUILDING CODE.



**TENANT**

SIGNAGE PROGRAM - SURFACE MT.

4  
DD1.3  
3/4" = 1'-0"



SIGN PROGRAM - DOOR GRAPHICS

3  
DD1.3  
1/2" = 1'-0"

**HANGING PANEL SIGN SPECIFICATIONS**

**PANEL:**  
 .080 THICK FABRICATED ALUMINUM SIGN PANEL W/ PAINTED FINISH AS PER OPTIONS BELOW:  
 OPTION 1: WHITE  
 OPTION 2: METALIC SILVER

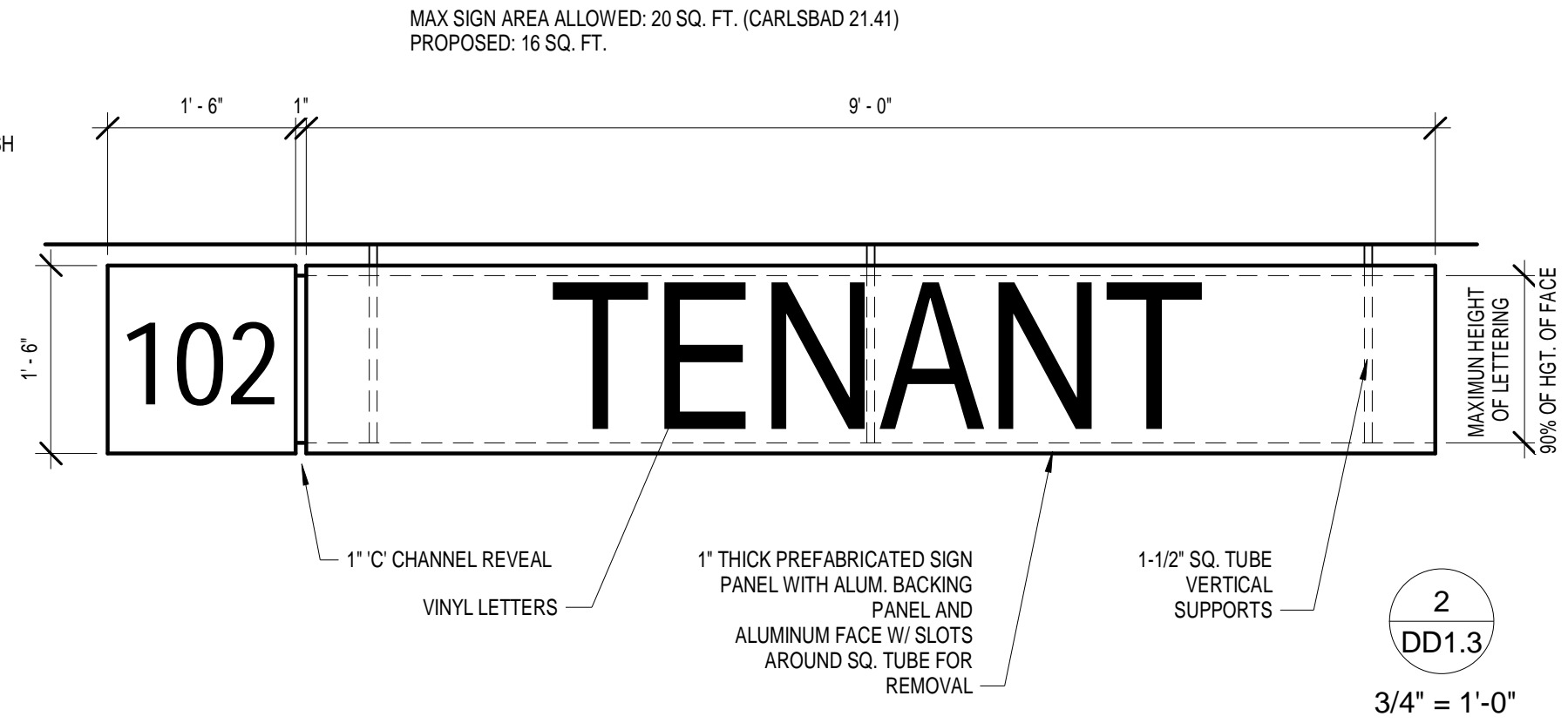
**TENANT GRAPHICS:**  
 3M VINYL GRAPHICS, COLORS AS PER TENANT. NON-ILLUMINATED

**SUITE GRAPHICS:**  
 3M BLACK #7725-12 OPAQUE VINYL NUMERALS.

**NOTES:**  
 COLORS ARE SUBJECT TO LANDLORD APPROVAL.

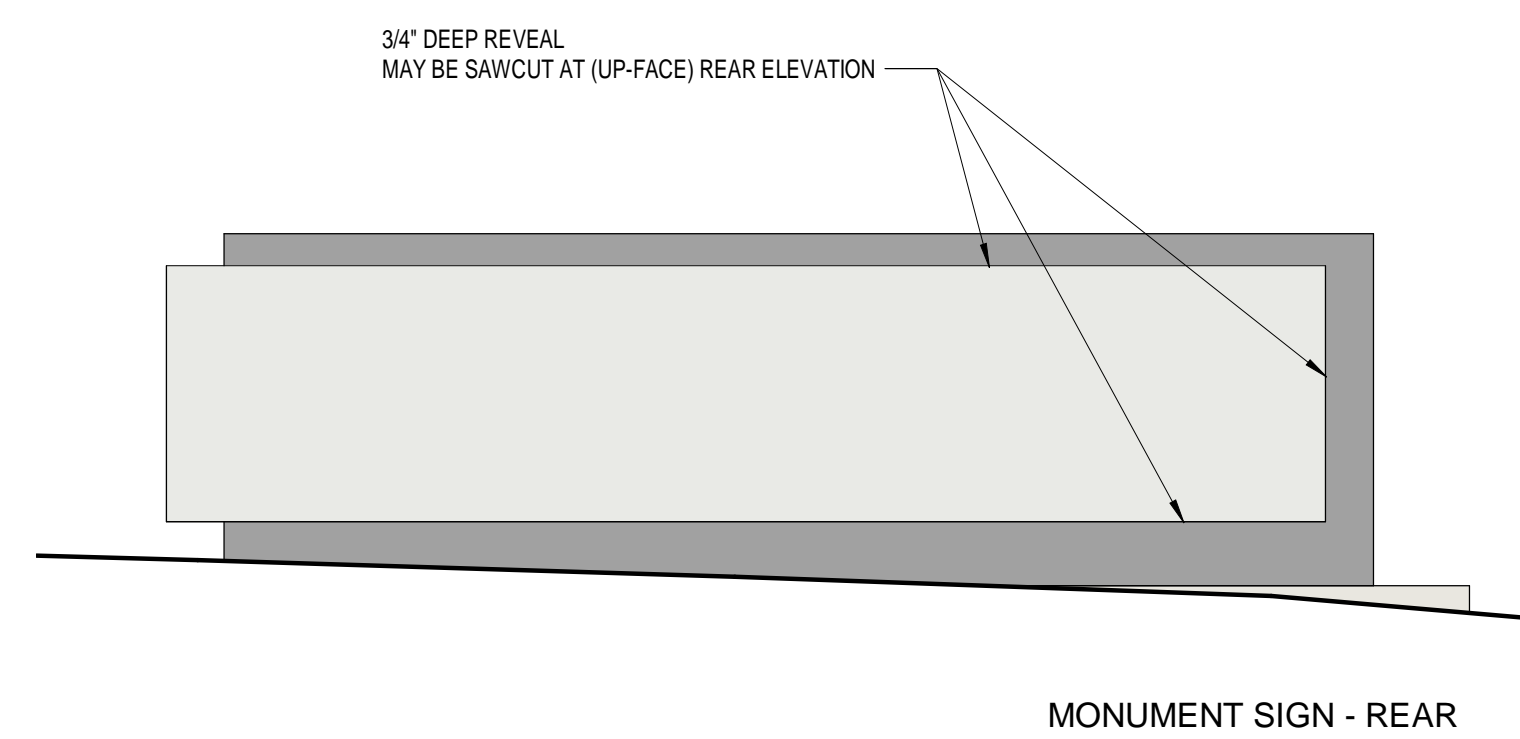
CUSTOM LOGO AND SECOND LINE OF COPY IS ALLOWED WITHIN ALLOWABLE SIGN AREA.

SIGN CONTR SHALL PROVIDE NECESSARY FASTENING AND BRACING TO SECURE INSTALL SIGN AND ACCOMMODATE WIND LOADS, ETC IN CONFORMANCE WITH BUILDING CODE.



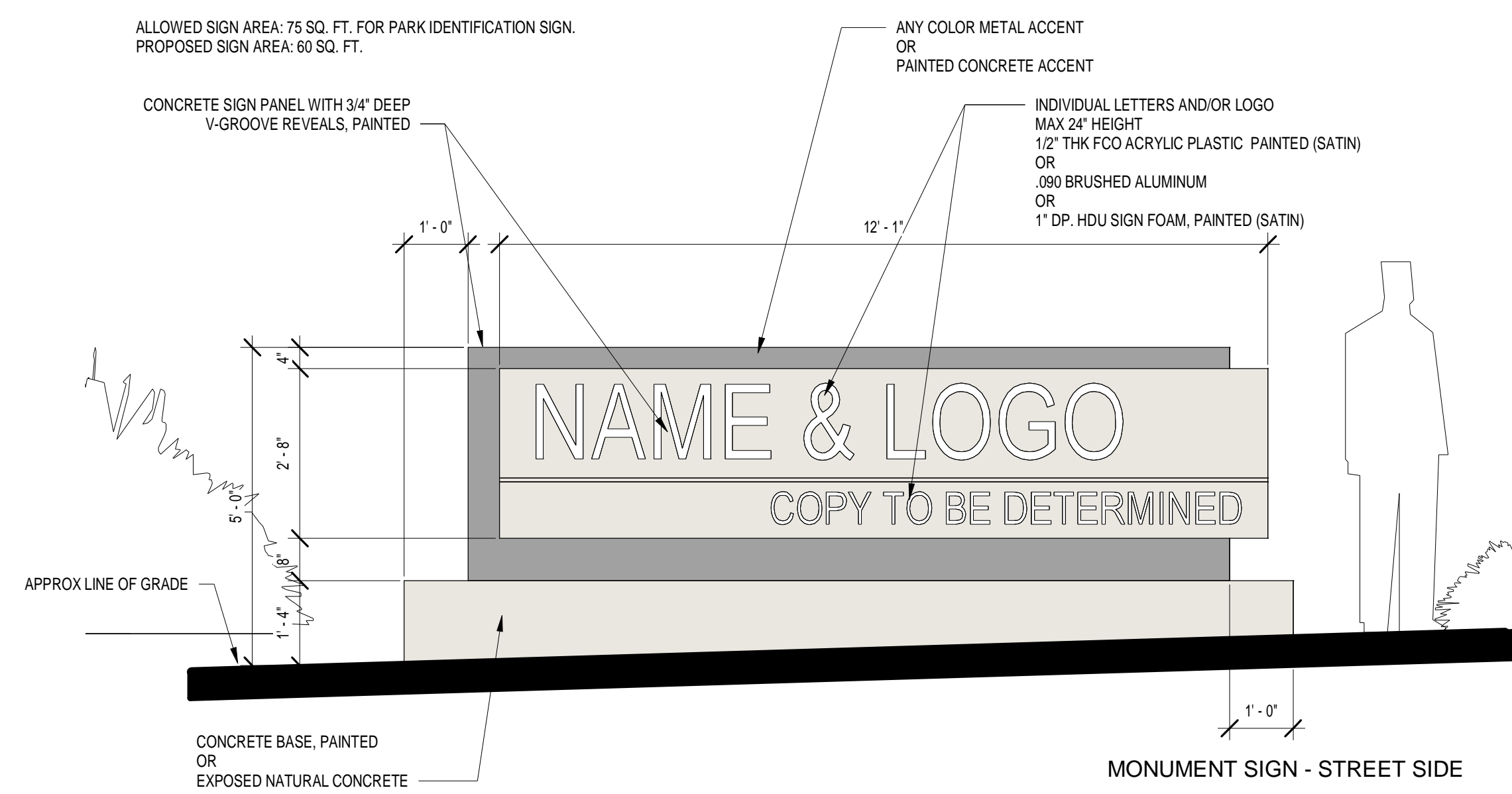
SIGNAGE PROGRAM - FASCIA SIGN

2  
DD1.3  
3/4" = 1'-0"



MONUMENT SIGN - REAR

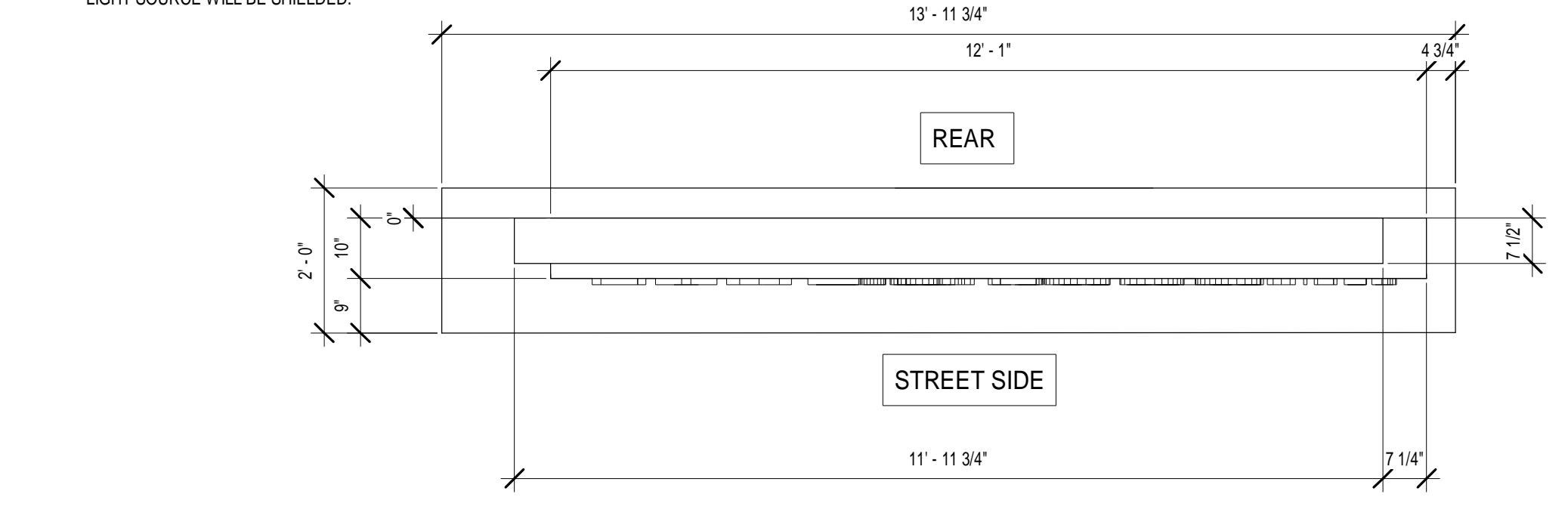
1C  
DD1.3  
1/2" = 1'-0"



MONUMENT SIGN - STREET SIDE

1B  
DD1.3  
1/2" = 1'-0"

THE MONUMENT SIGN MAY BE EXTERNALLY ILLUMINATED. LIGHT SOURCE WILL BE SHIELDED.

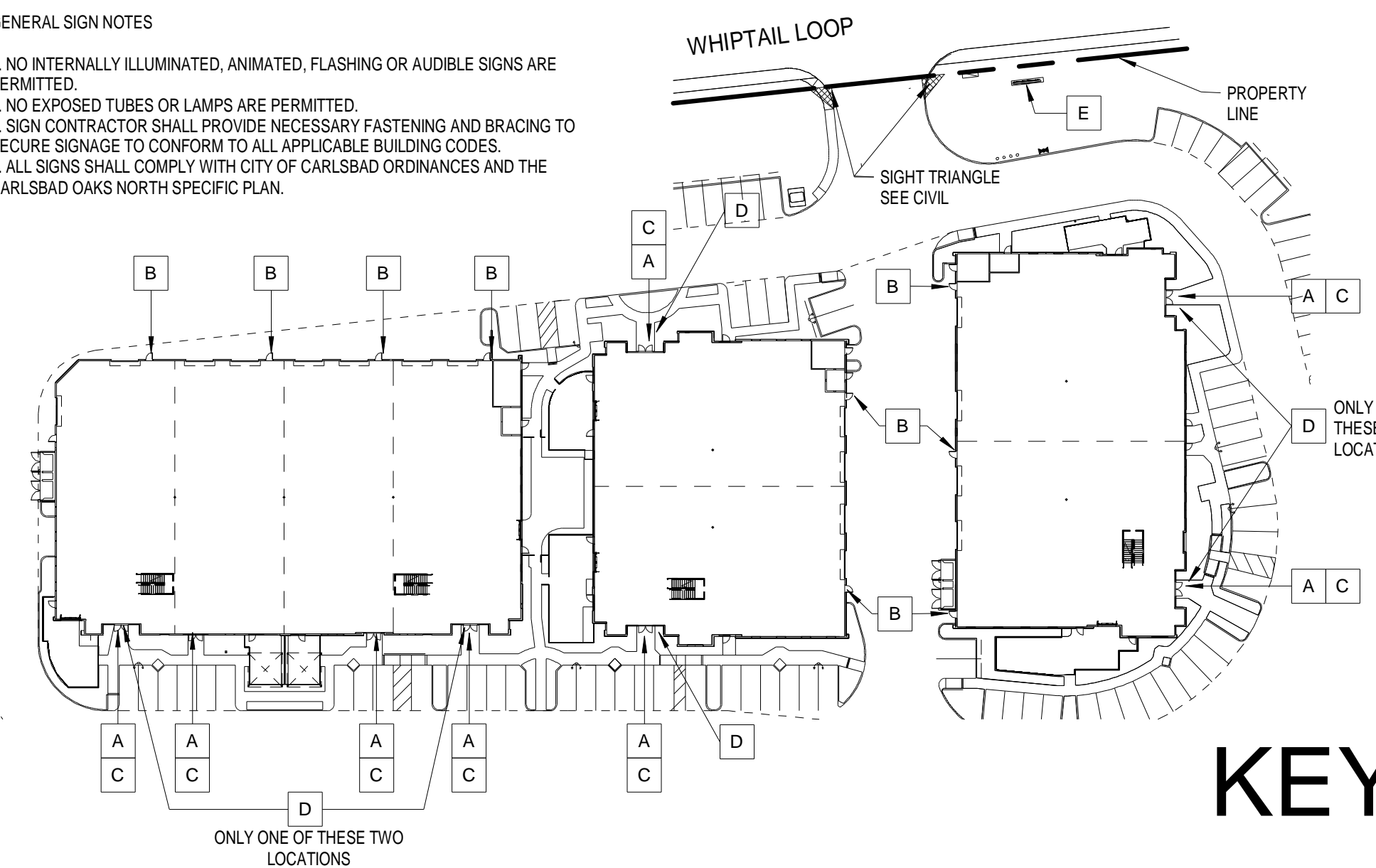


MONUMENT SIGN PLAN VIEW

1  
DD1.3  
1/2" = 1'-0"

**GENERAL SIGN NOTES**

1. NO INTERNALLY ILLUMINATED, ANIMATED, FLASHING OR AUDIBLE SIGNS ARE PERMITTED.
2. NO EXPOSED TUBES OR LAMPS ARE PERMITTED.
3. SIGN CONTRACTOR SHALL PROVIDE NECESSARY FASTENING AND BRACING TO SECURE SIGNAGE TO CONFORM TO ALL APPLICABLE BUILDING CODES.
4. ALL SIGNS SHALL COMPLY WITH CITY OF CARLSBAD ORDINANCES AND THE CARLSBAD OAKS NORTH SPECIFIC PLAN.

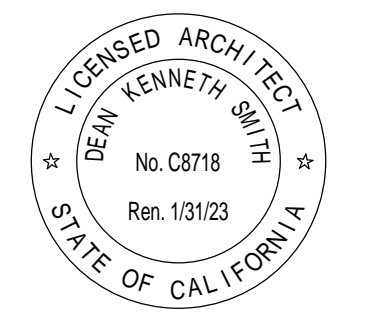


- KEY NOTES**
- A. FASCIA SIGN (2 DD1.3)
  - B. SERVICE DOOR SIGN (3 DD1.3)
  - C. ENTRY DOOR DECAL (3 DD1.3)
  - D. ALTERNATE WALL SIGN (4 DD1.3)
  - E. MONUMENT SIGN (1B DD1.3)
- ONLY ONE OF THESE TWO LOCATIONS

KEY MAP

**TECH CONTRACTORS**

3575 Kenyon Street  
 Suite 200  
 San Diego, CA 92110  
 619.223.2865

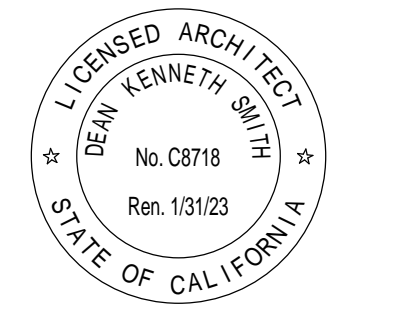
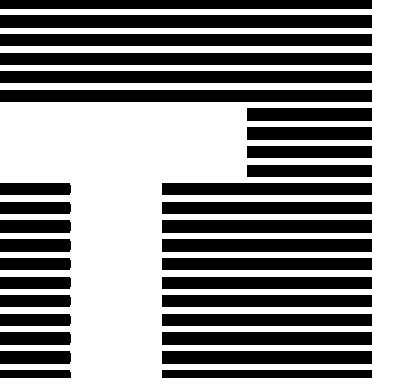


DATE: 6-10-2021  
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Revision Schedule		
#	Date	Description

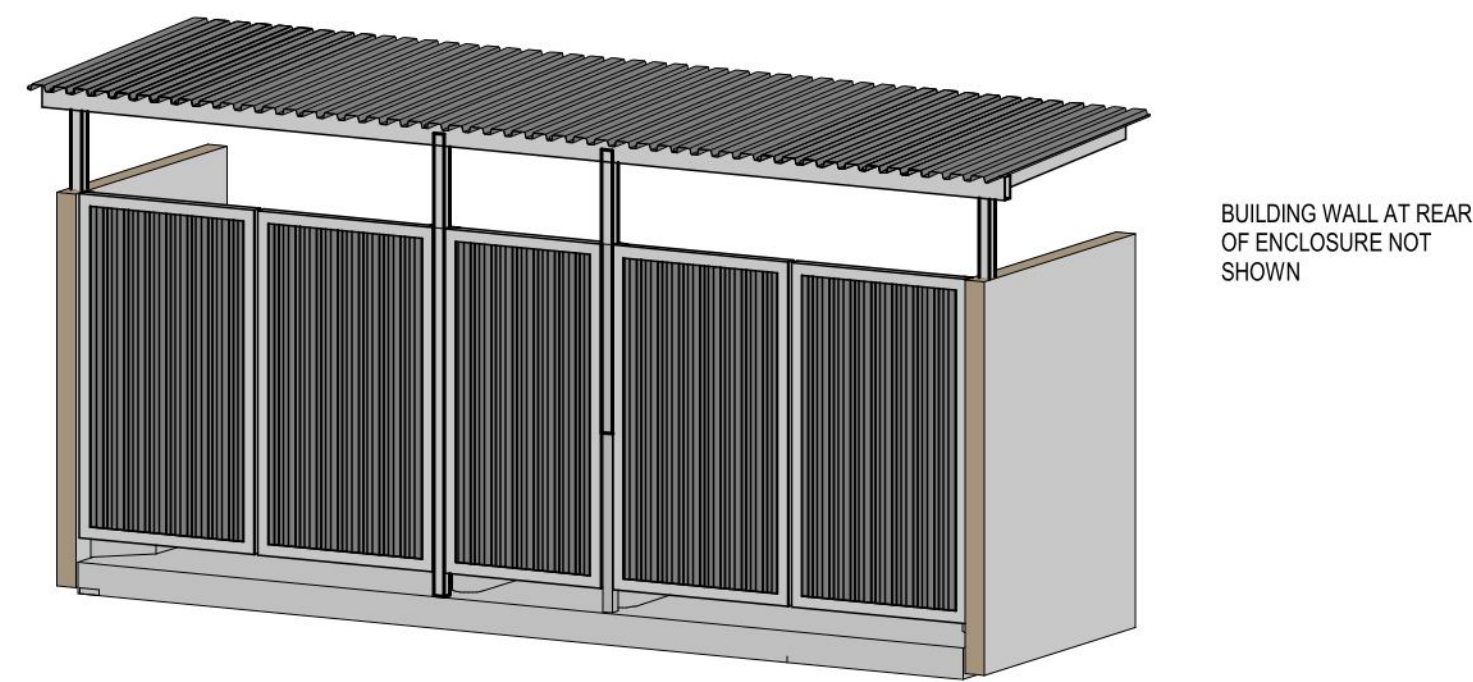
NEW INDUSTRIAL DEVELOPMENT  
**LOT 3**  
 CARLSBAD OAKS NORTH

DD1.3

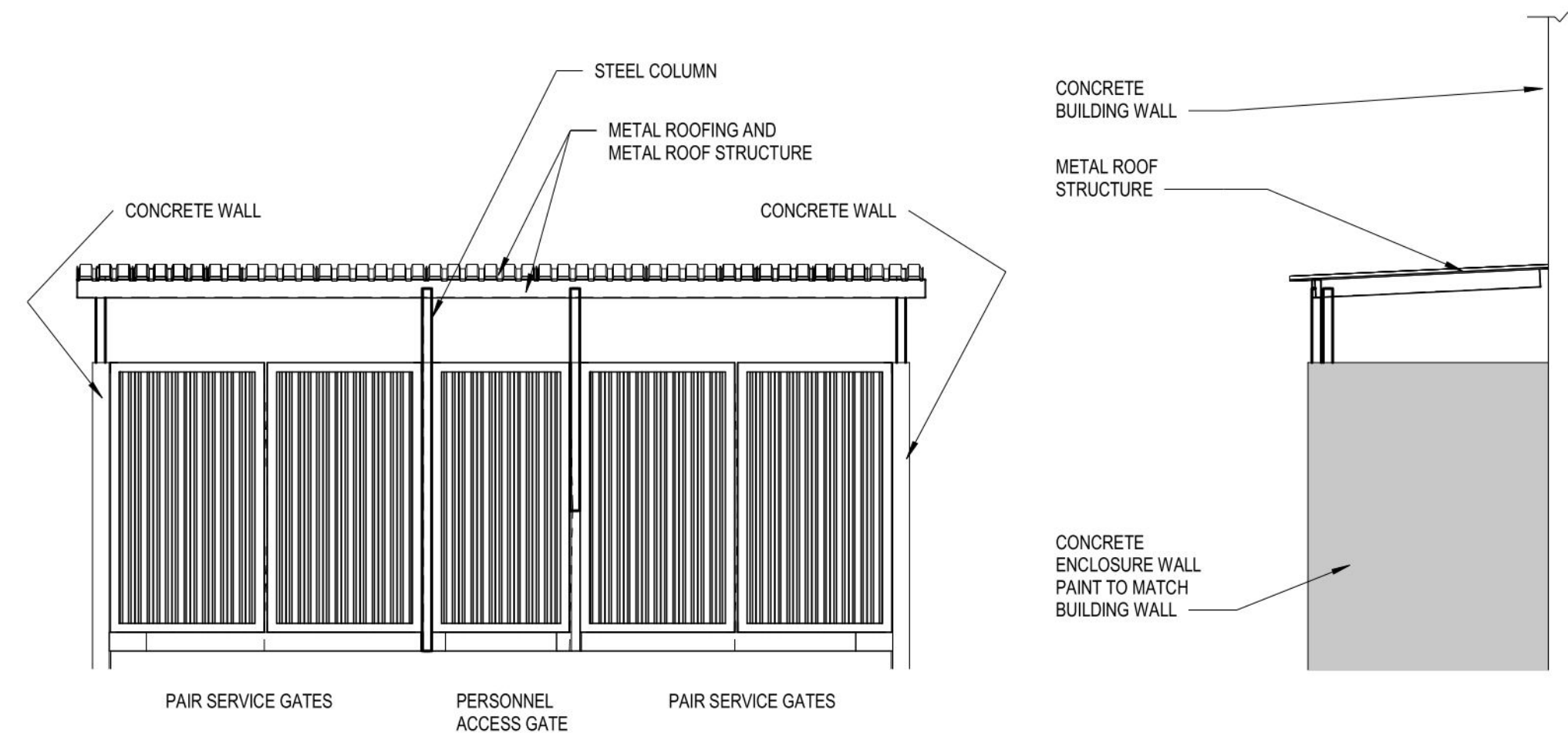


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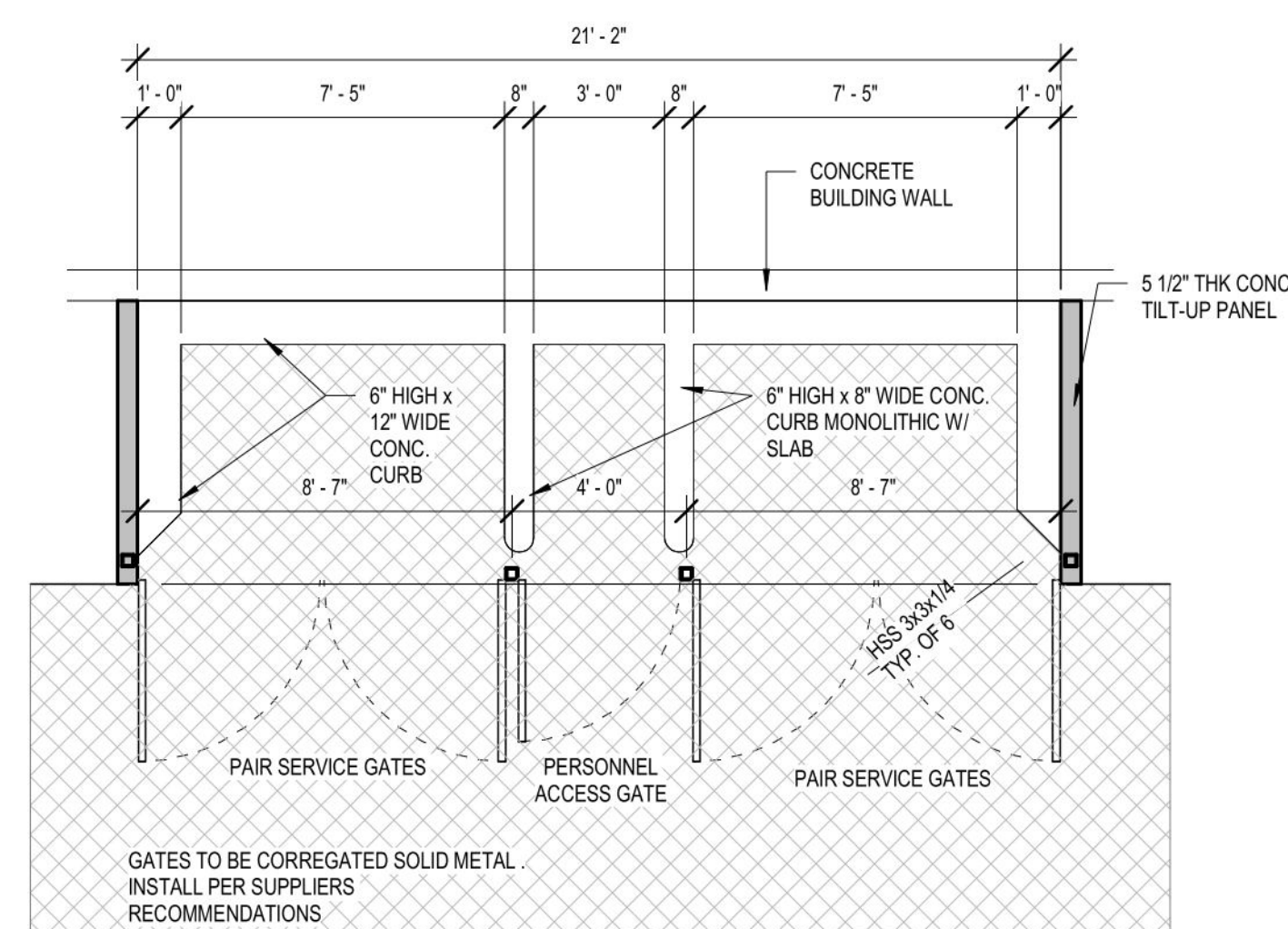
Revision Schedule		
#	Date	Description



3D VIEW

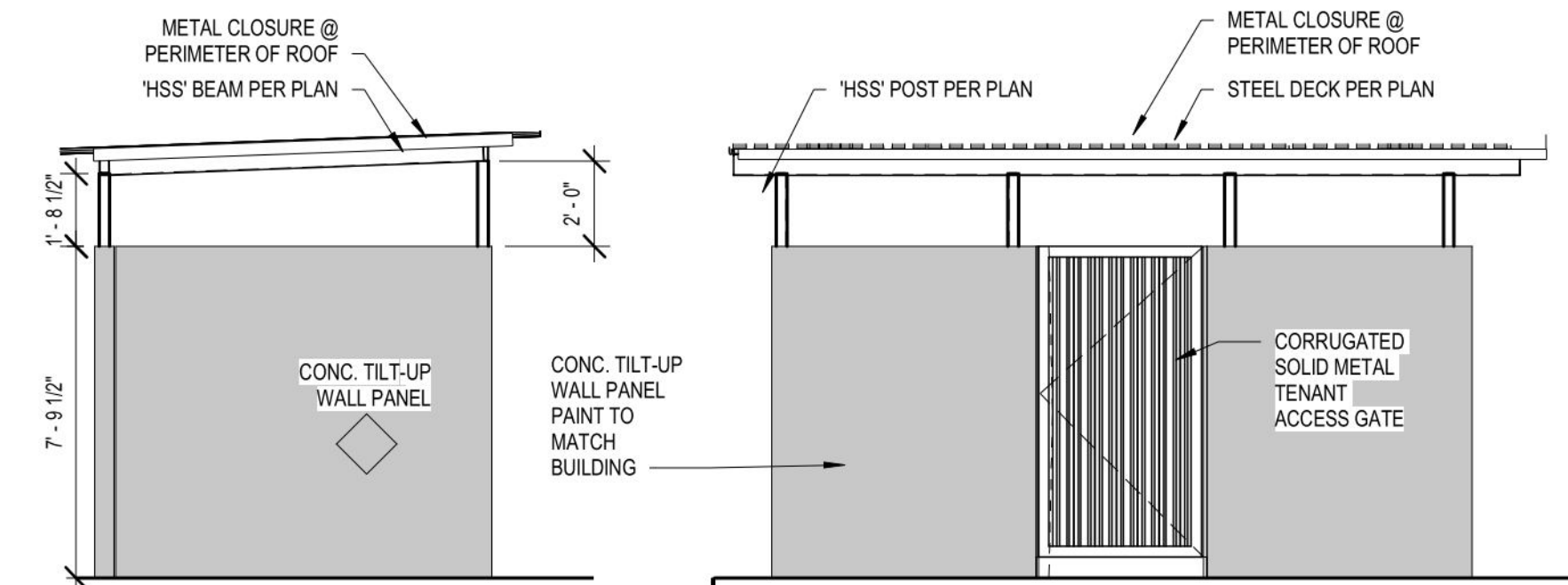
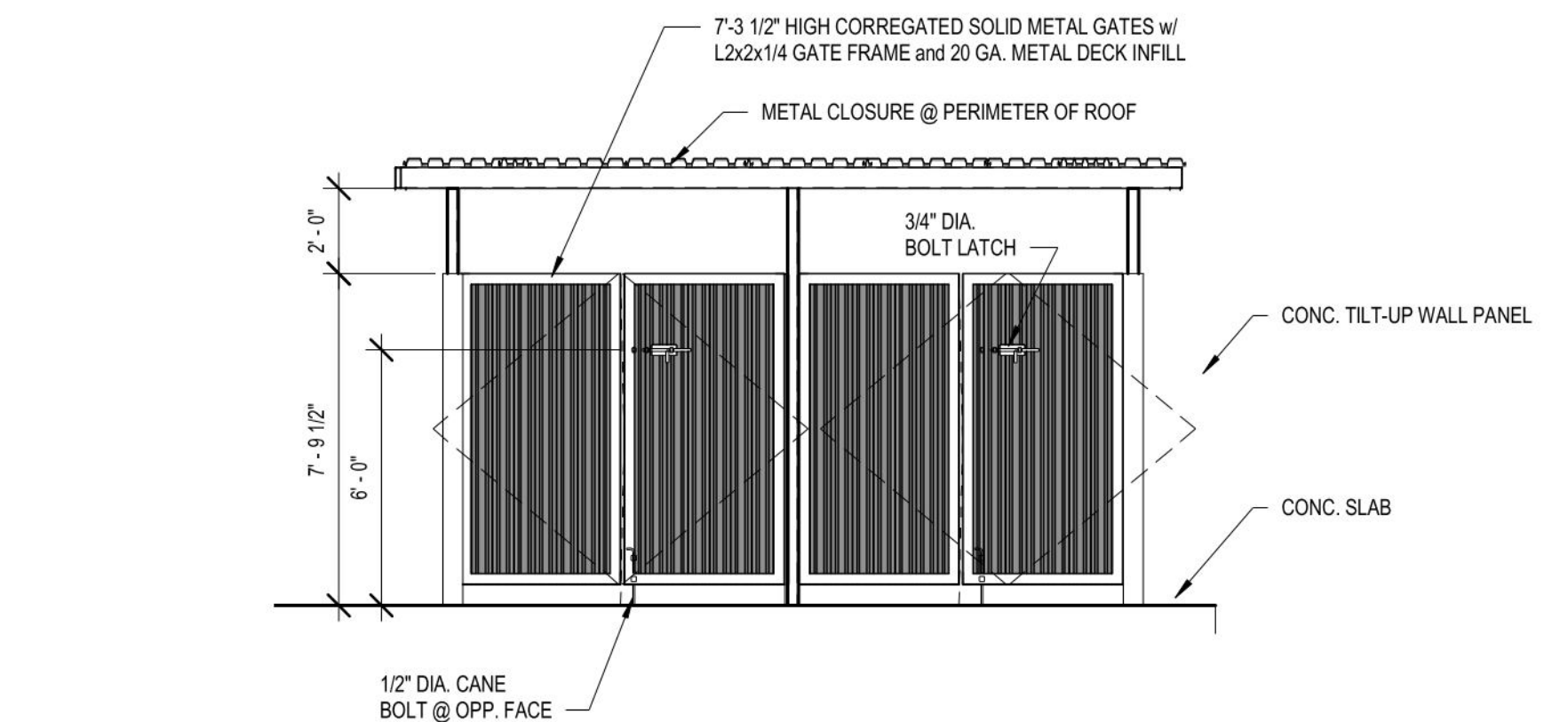


EXTERIOR ELEVATIONS

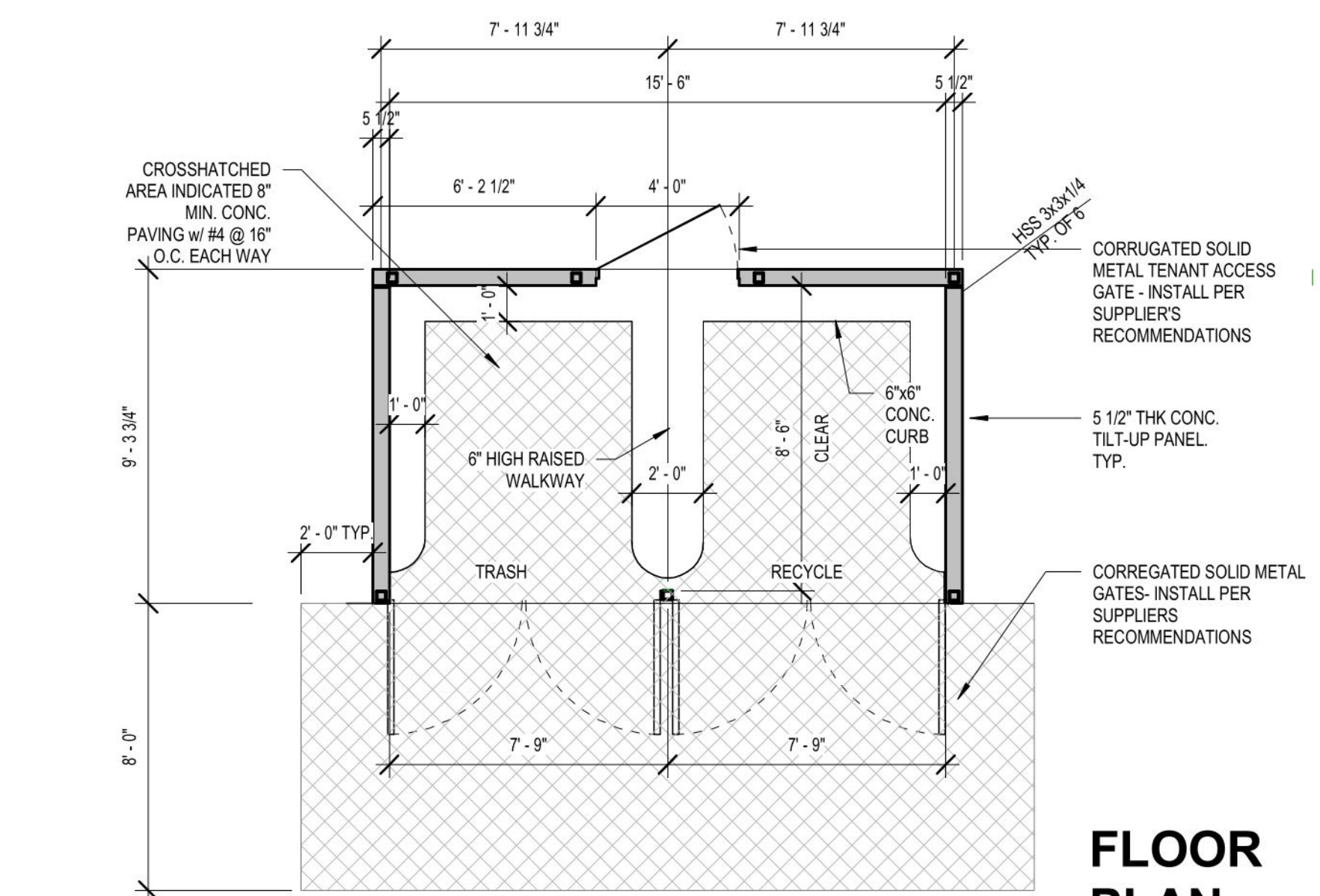


FLOOR PLAN

TRASH & RECYCLE ENCLOSURE  
TYPE 'B'



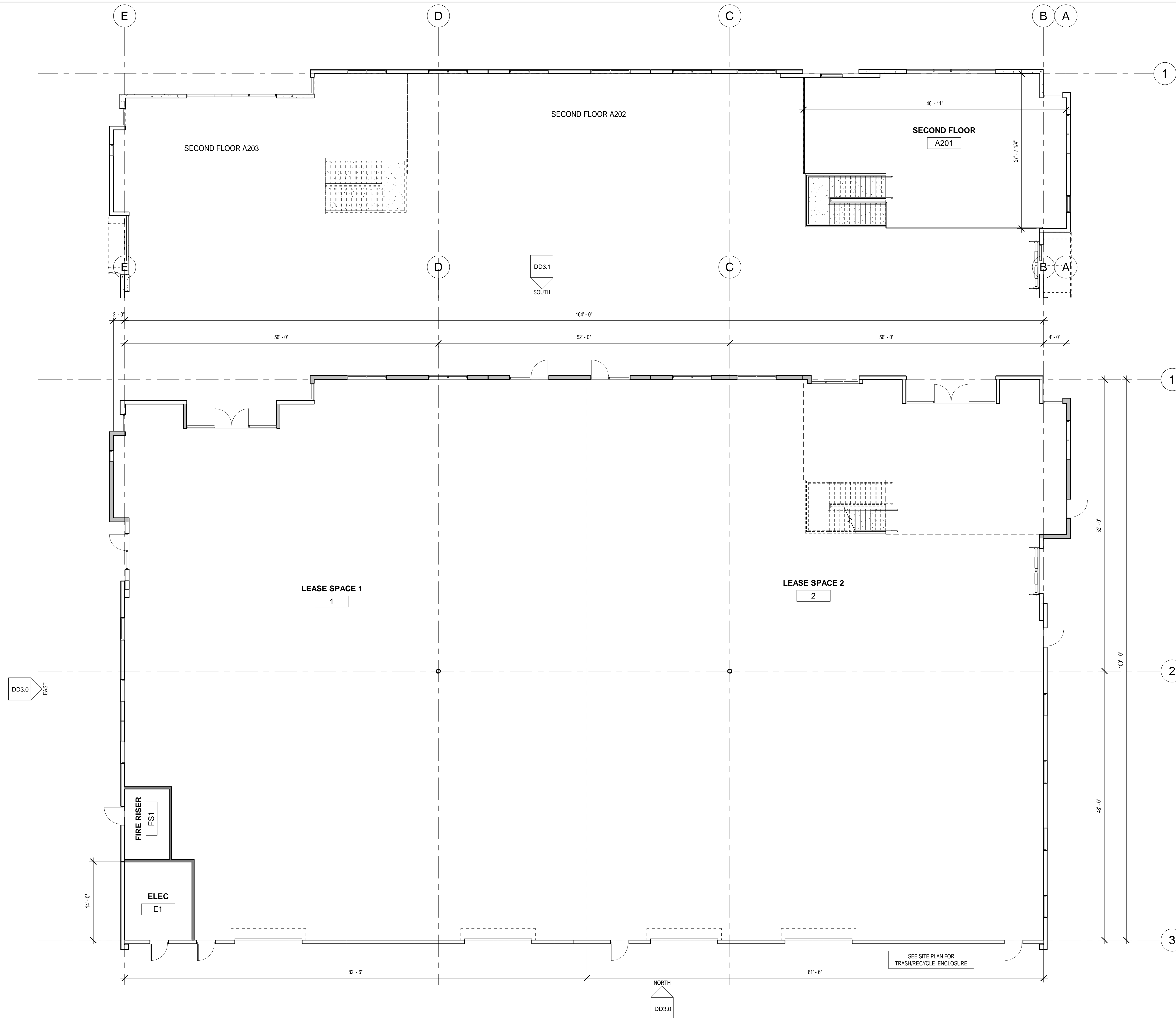
EXTERIOR ELEVATIONS



FLOOR PLAN

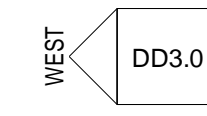
TRASH & RECYCLE ENCLOSURE  
TYPE 'A'

6/2/2021 11:18:26 AM D:\00PROJECTS\00CARLSBAD\CON3\00CURRENT  
 -REVIT MODEL\CON3 BUILDING A.rvt



# SECOND FLOOR PLAN

1/8" = 1'-0"



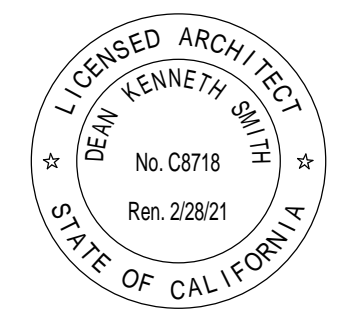
Name	Area
FIRST FLOOR	16736 SF
SECOND FLOOR	1195 SF
SECOND FLOOR A201	1342 SF
SECOND FLOOR A202	1057 SF
SECOND FLOOR A203	
Grand total	20331 SF

# FIRST FLOOR PLAN

1/8" = 1'-0"

**TECH CONTRACTORS**

3575 Kenyon Street  
 Suite 200  
 San Diego, CA 92110  
 619.223.1663

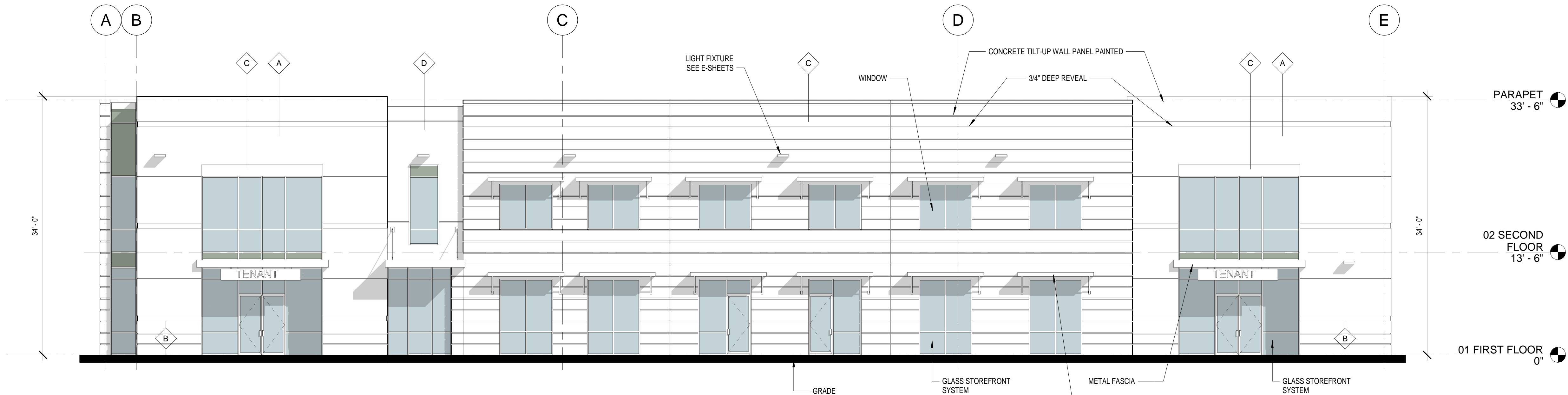


DATE: 6-10-2021  
 JOB NO: CON3  
 DRAWN BY: DS

Revision Schedule		
#	Date	Description

BUILDING A  
**LOT 3**  
 CARLSBAD OAKS NORTH

**DD2.0**

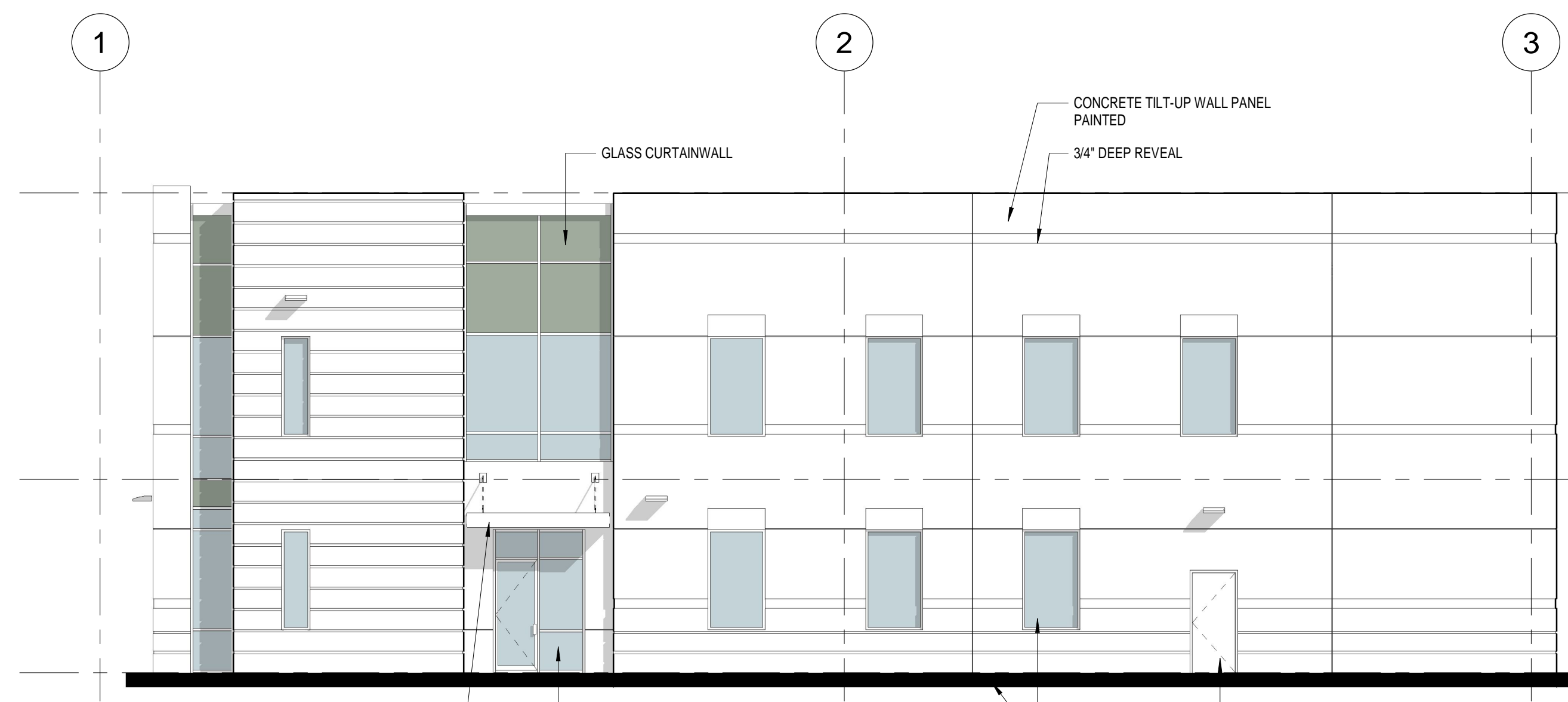
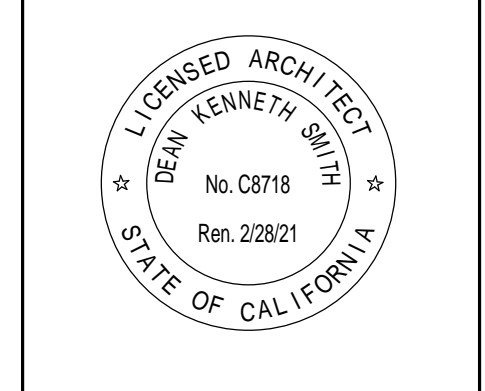


**SOUTH**

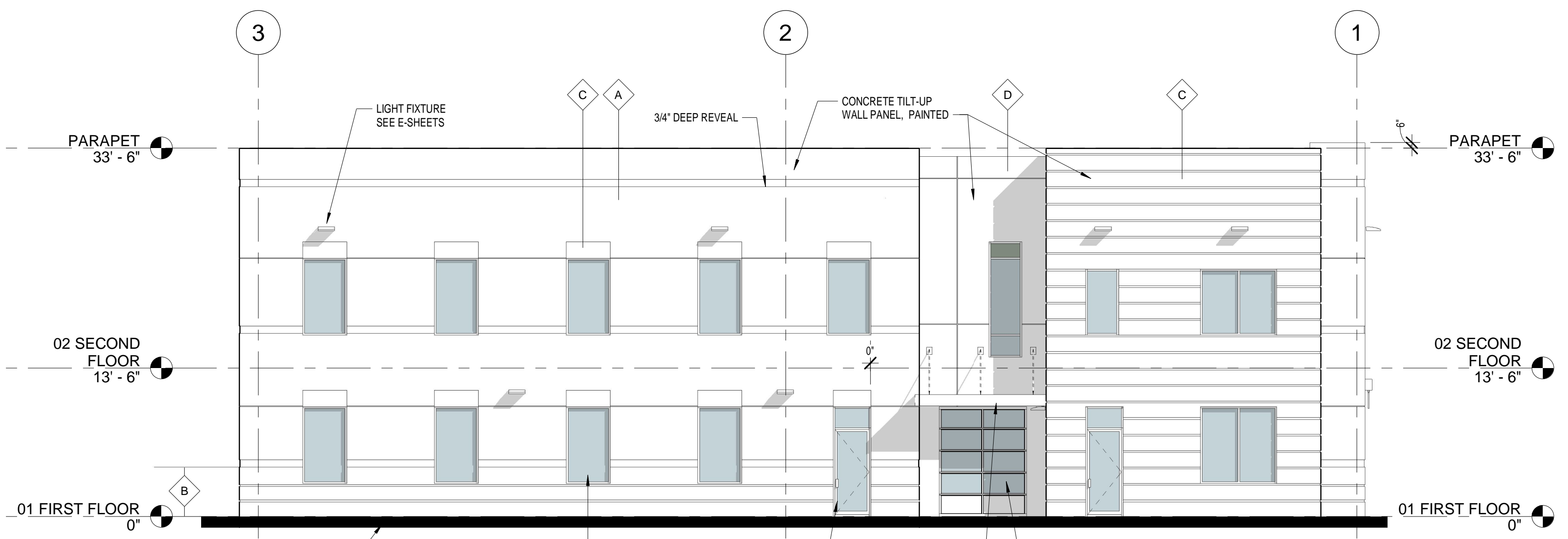
- EXTERIOR PAINT :**  
 PAINT MFR: SHERWIN WILLIAMS
- A NEUTRAL GROUND SW7568
  - B URBAN JUNGLE SW9117
  - C GAUNTLET GRAY SW7019
  - D CEREMONIAL GOLD SW6382
- ALTERNATE COLORS FOR ACCENT PAINT 'D' INCLUDE :
1. (MATCH) FRAZEE CL2607N WALLABIE
  2. JASPER STONE SW9133
- GLAZING FRAMING**  
 CLASS 1 CLEAR ANODIZED ALUMINUM
- EXTER LIGHT FIXTURES**  
 SILVER METALIC

**TECH CONTRACTORS**

3575 Kenyon Street  
 Suite 200  
 San Diego, CA 92110  
 619.223.1663



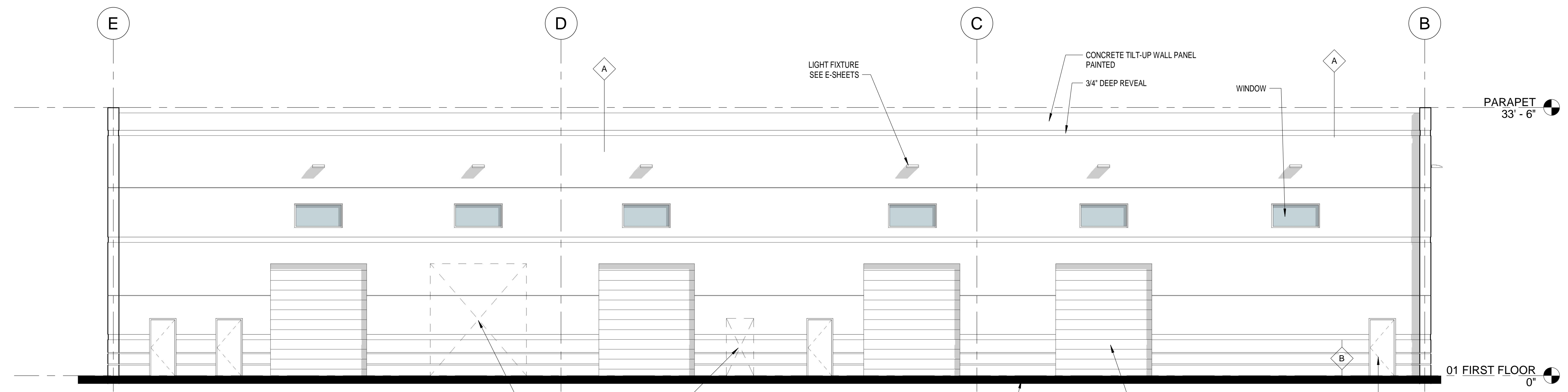
**EAST**



**WEST**

DATE: 6-10-2021  
 JOB NO: CON3  
 DRAWN BY: DS

Revision Schedule		
#	Date	Description

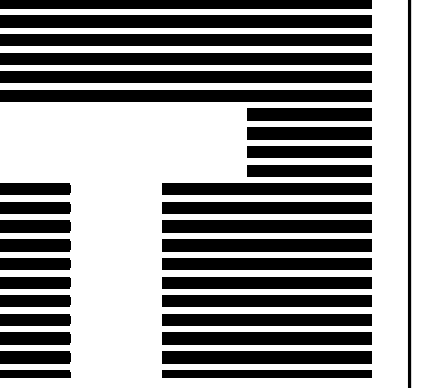


**NORTH**

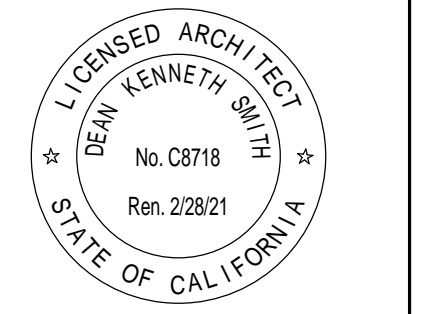
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BUILDING A  
**LOT 3**  
 CARLSBAD OAKS NORTH

**DD3.0**



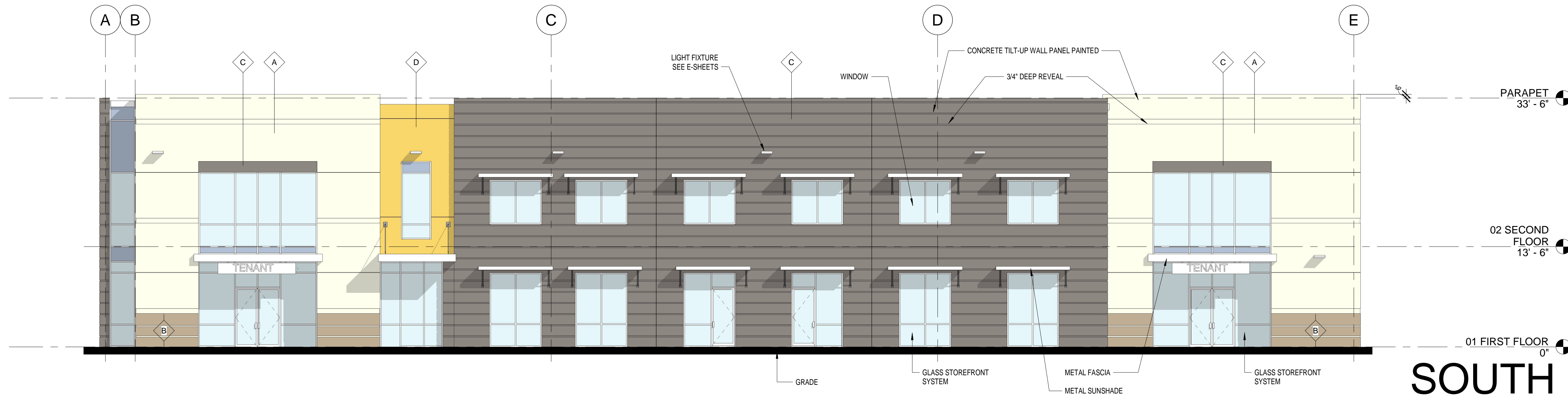
3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.1663



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule		
#	Date	Description

BUILDING A  
**LOT 3**  
CARLSBAD OAKS NORTH



**EXTERIOR PAINT :**

- PAINT MFR: SHERWIN WILLIAMS
- A NEUTRAL GROUND SW7568
  - B URBAN JUNGLE SW9117
  - C GAUNTLET GRAY SW7019
  - D CEREMONIAL GOLD SW6382
- ALTERNATE COLORS FOR ACCENT PAINT 'D' INCLUDE :
1. (MATCH) FRAZEE CL2607N WALLABIE
  2. JASPER STONE SW9133

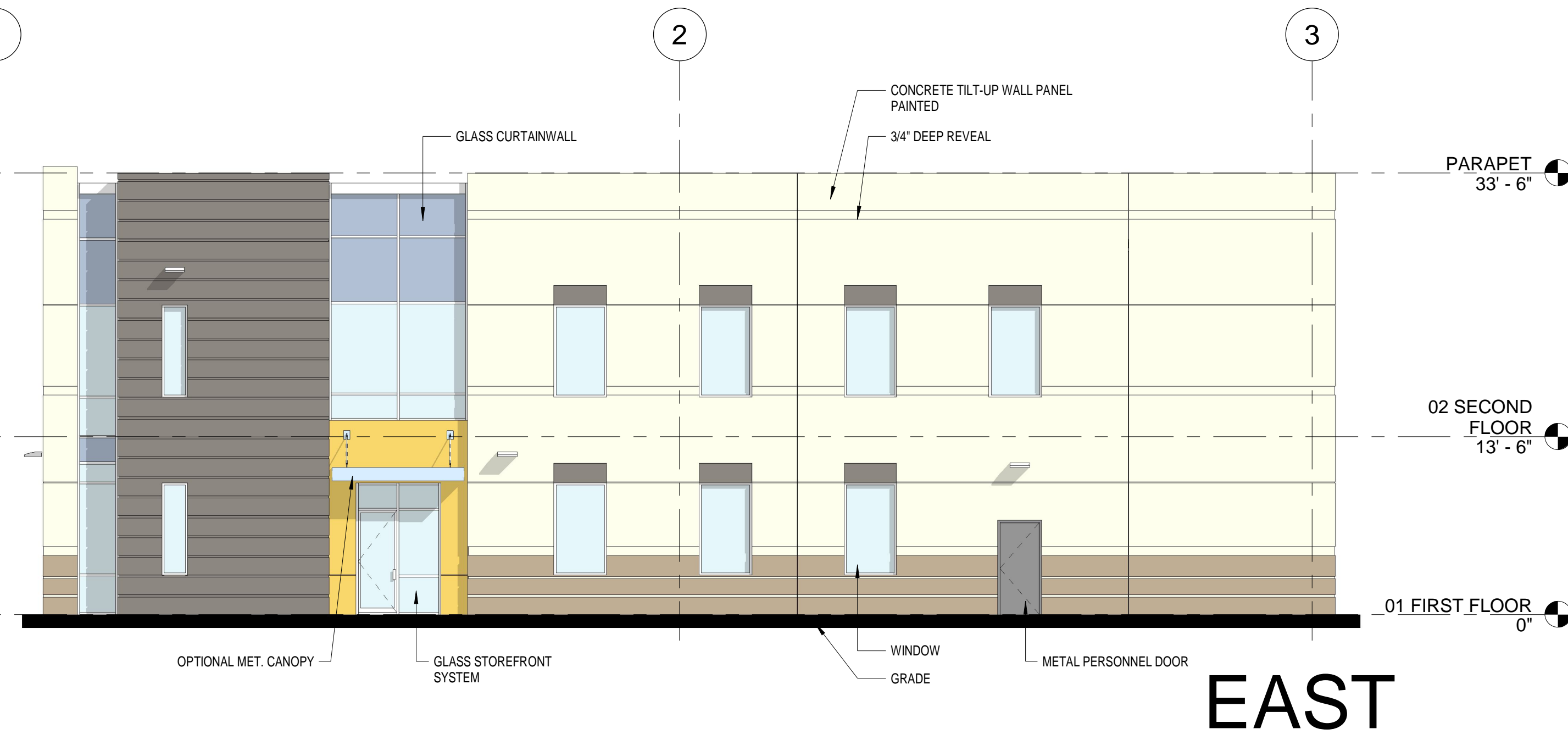
**GLAZING FRAMING**

CLASS 1 CLEAR ANODIZED ALUMINUM

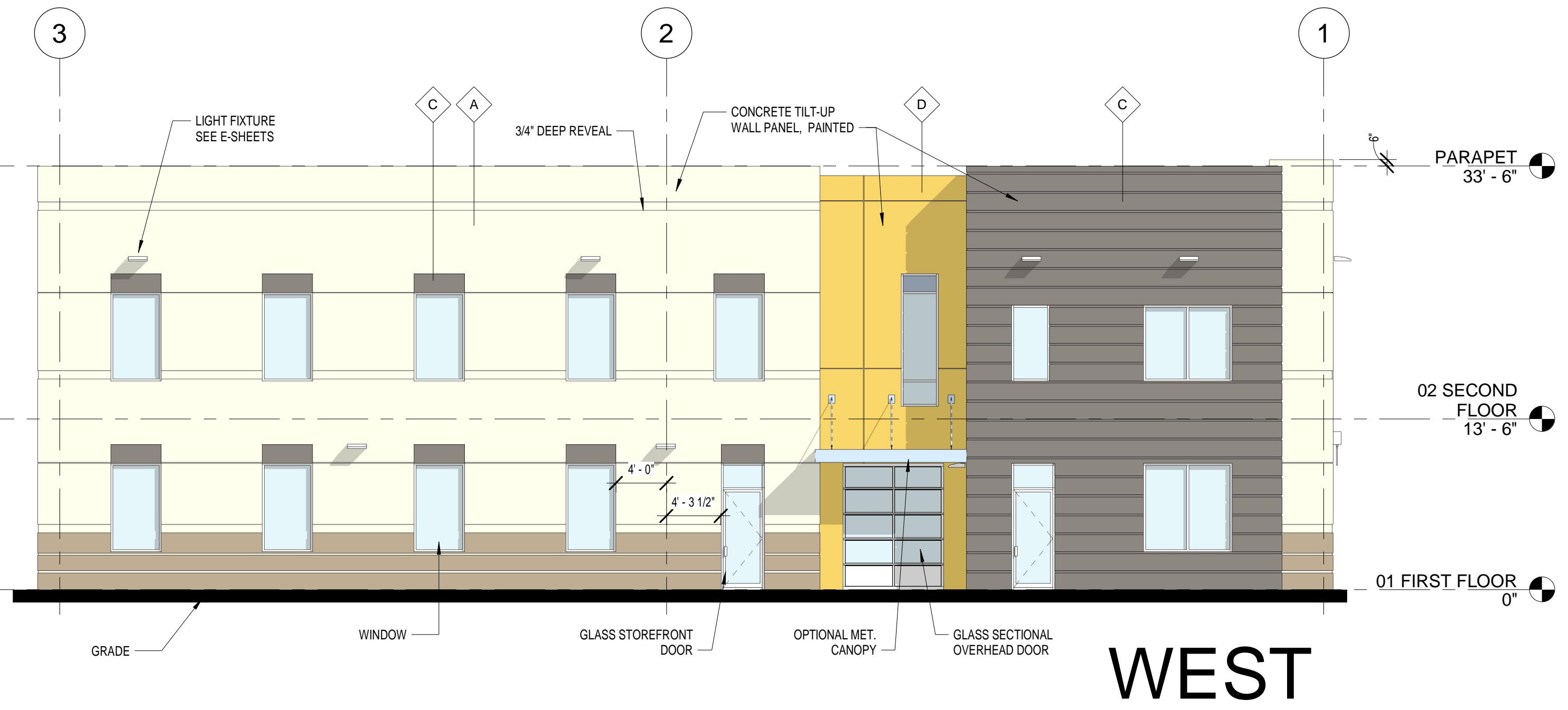
**EXTER LIGHT FIXTURES**

SILVER METALIC

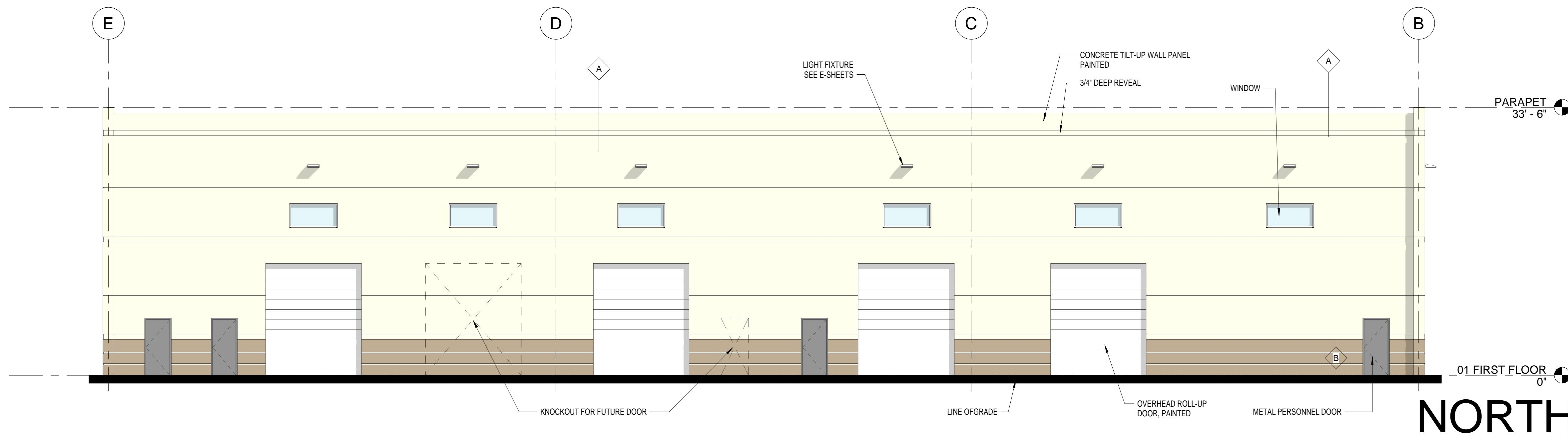
**SOUTH**



**EAST**



**WEST**



**NORTH**





**Building A  
NORTHWEST  
CORNER**

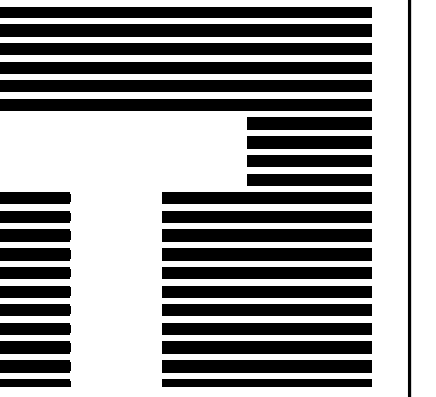


**Building A  
SOUTHEAST  
CORNER**

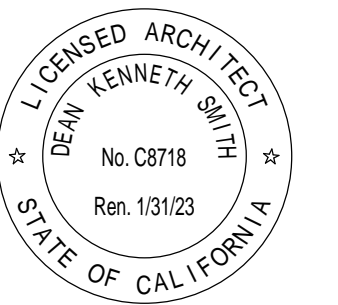


**Building A  
SOUTHWEST  
CORNER**

**TECH  
CONTRACTORS**



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.2865



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule		
#	Date	Description

NEW INDUSTRIAL DEVELOPMENT  
**LOT 3**  
CARLSBAD OAKS NORTH

**DD3.2**

# ROOF LEGEND

30' x 36" STEEL ROOF HATCH by "POTTER-ROEMER" - SEE DETAIL

EQUIPMENT PLATFORM FRAMING ONLY - VERIFY LOCATION - SEE MECHANICAL PLANS AND DETAIL

EQUIPMENT PLATFORM CURB & FRAMING - VERIFY LOCATION - SEE MECHANICAL PLANS AND DETAIL

MECHANICAL EQUIPMENT, PLATFORM & FRAMING - VERIFY LOCATION - SEE MECHANICAL PLANS AND DETAIL

14" DIA. WHIRLYBIRD TURBINE VENTILATOR BY "LOMANCO" ON ROOF (PROVIDE 18" MIN. CLR TO SKYLIGHTS) - SEE

SKYLIGHT 4'-0" x 8'-0" SIGNATURE SERIES (AL) (O) (OG) w/ 90% HAZE RATING BY "SUNOPTICS PRISMATIC SKYLIGHTS" (AAMA CERTIFICATION PROGRAM REPORT # 77953.02-301-44 REV. 2) - SEE DETAIL

SMOKE HATCH DOME 4'-0" x 8'-0" w/ 90% HAZE RATING BY "SUNOPTICS PRISMATIC SKYLIGHTS" (Fusible link rating: 360 degrees F.) SMOKE HATCH SHALL COMPLY w/ UL E 331570 and CBC STD 15-7 SEE DETAIL

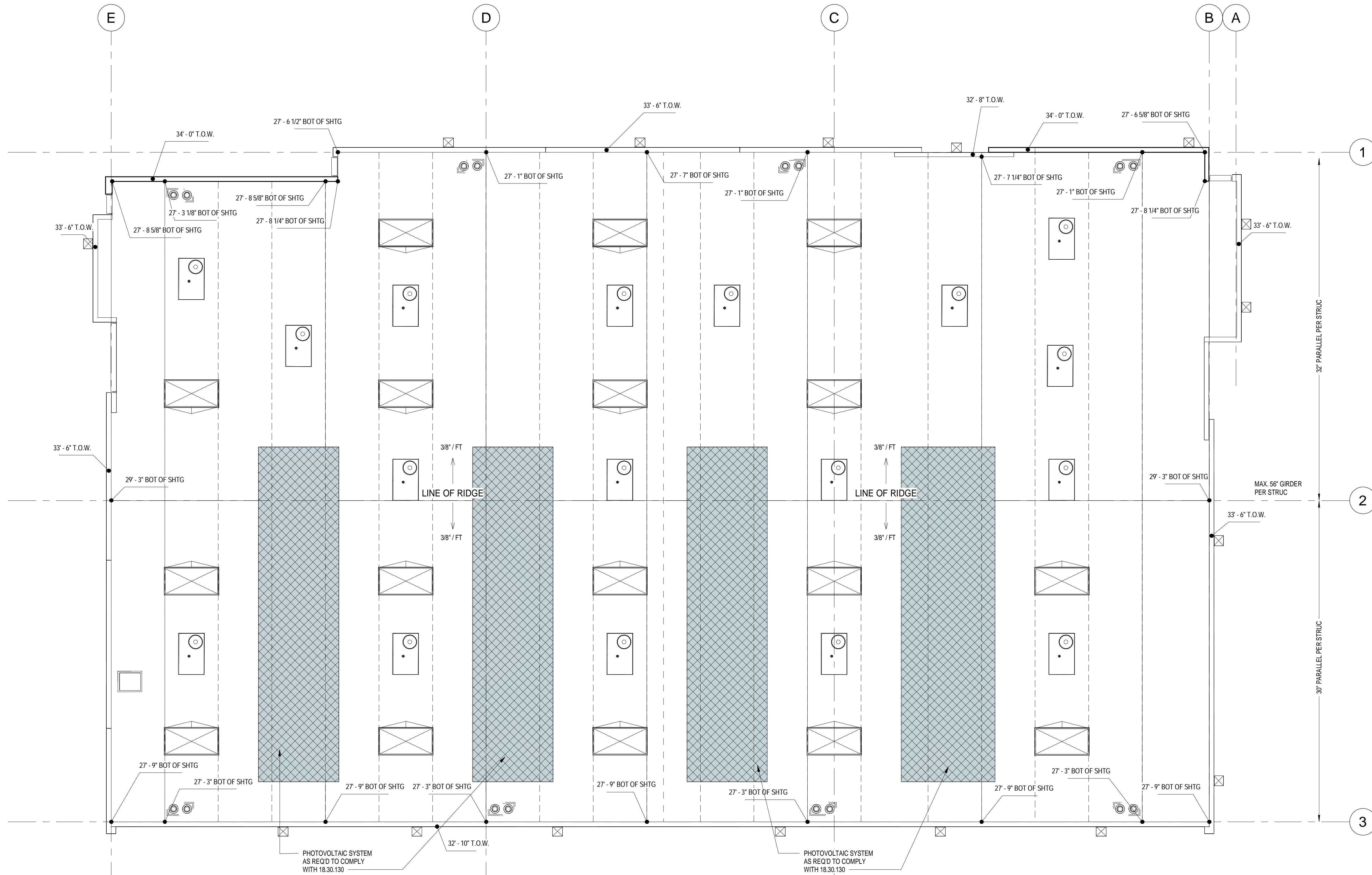
CAST IRON ROOF DRAIN and OVERFLOW COMBINATION. SEE PLUMBING PLANS BY OTHERS FOR SIZES AND DETAIL

CAST IRON ROOF DRAIN w/ SCUPPER THRU WALL. SEE PLUMBING PLANS BY OTHERS FOR SIZES AND DETAIL

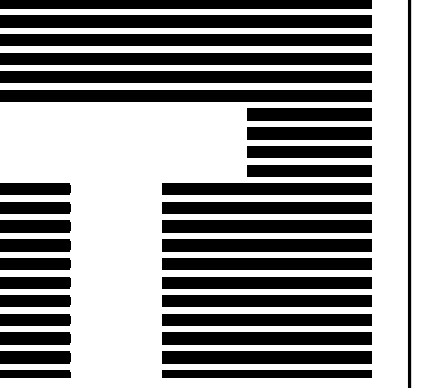
**NOTES:**

- WHERE CROSS-FALL AT LEADING EDGE OF EQUIPMENT PLATFORM IS LESS THAN 1/4" PER FOOT, PROVIDE CRICKET AS REQUIRED TO DIVERT WATER.
- CONSULT THE ROOFING MATERIAL MANUFACTURER FOR NUMBER AND LOCATION(S) OF CONTROL JOINT(S). FOR CONTROL JOINT DETAIL, SEE

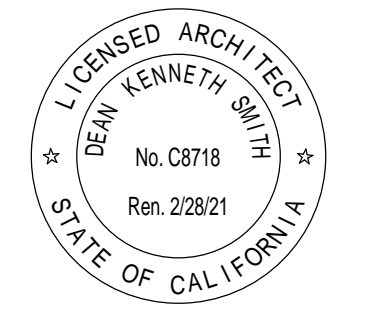
PHOTOVOLTAICS:  
(20331/10000) = 2.03  
2.0 X 15 = 30  
PROVIDE 30KW  
ACTUAL KW MAY DIFFER AT TIME OF BUILDING PERMIT  
DEPENDING ON ACTUAL SQUARE FOOTAGE PROPOSED



**TECH CONTRACTORS**



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.1663



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule		
#	Date	Description

BUILDING A  
**LOT 3**  
CARLSBAD OAKS NORTH

**ROOF CLEAR HEIGHT NOTE**

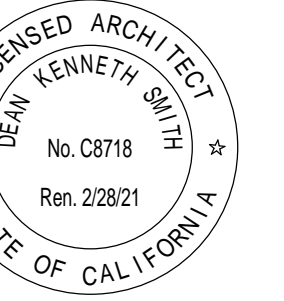
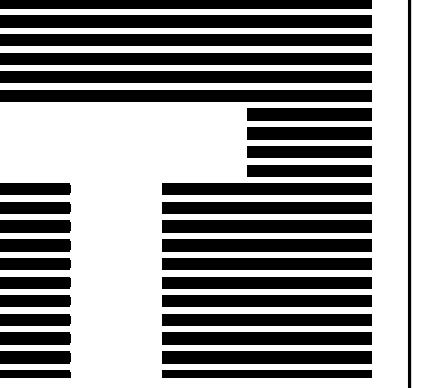
24' - 0" MINIMUM CLEAR HEIGHT

CLASS 'A' ROOF REQUIRED

**ROOF PLAN**

1/8" = 1'-0"

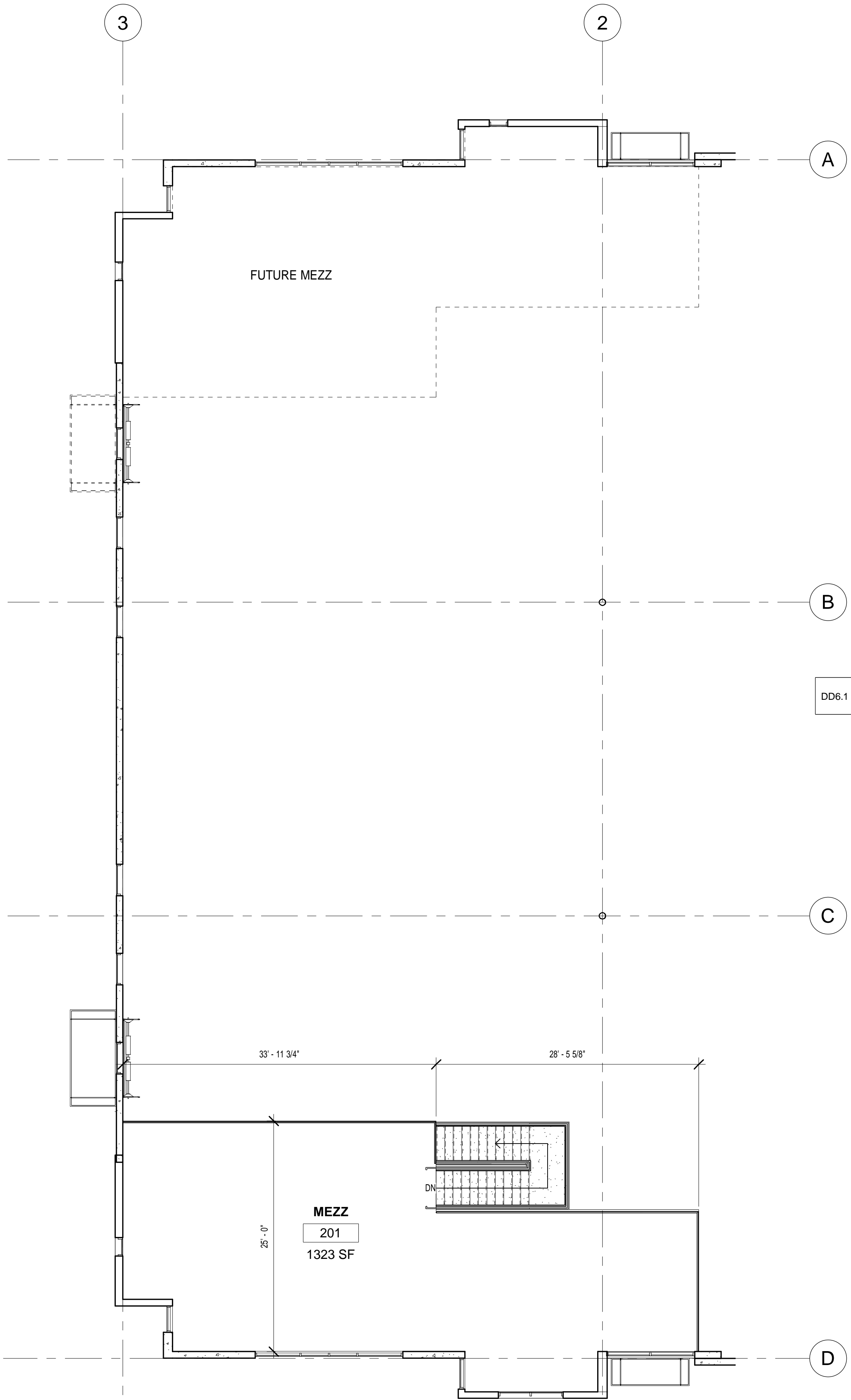
**DD4.0**



DATE: 4-28-2021  
JOB NO: CON3  
DRAWN BY: DS

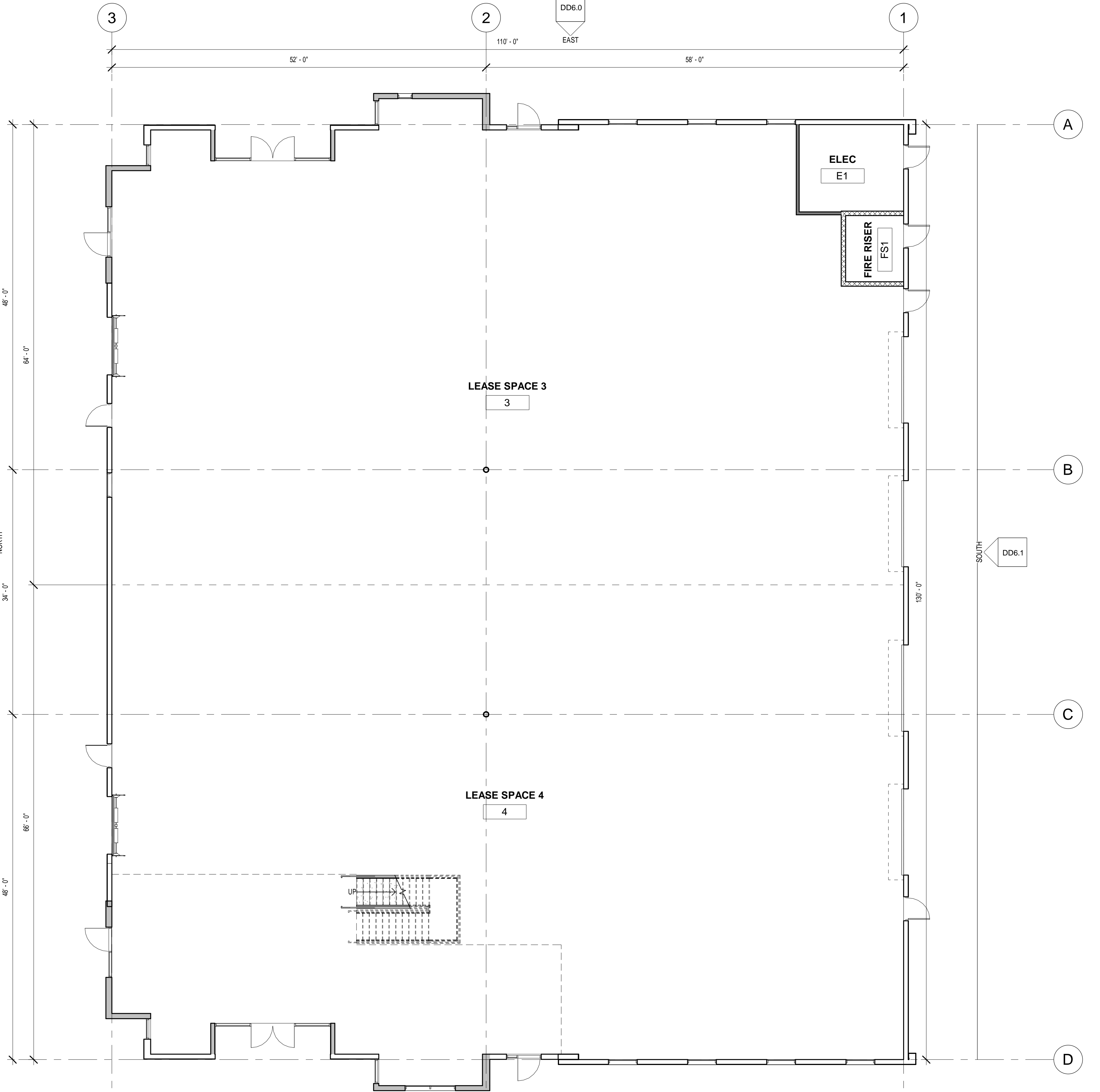
Revision Schedule		
#	Date	Description

BUILDING B  
**LOT 3**  
CARLSBAD OAKS NORTH



**SECOND FLOOR PLAN**

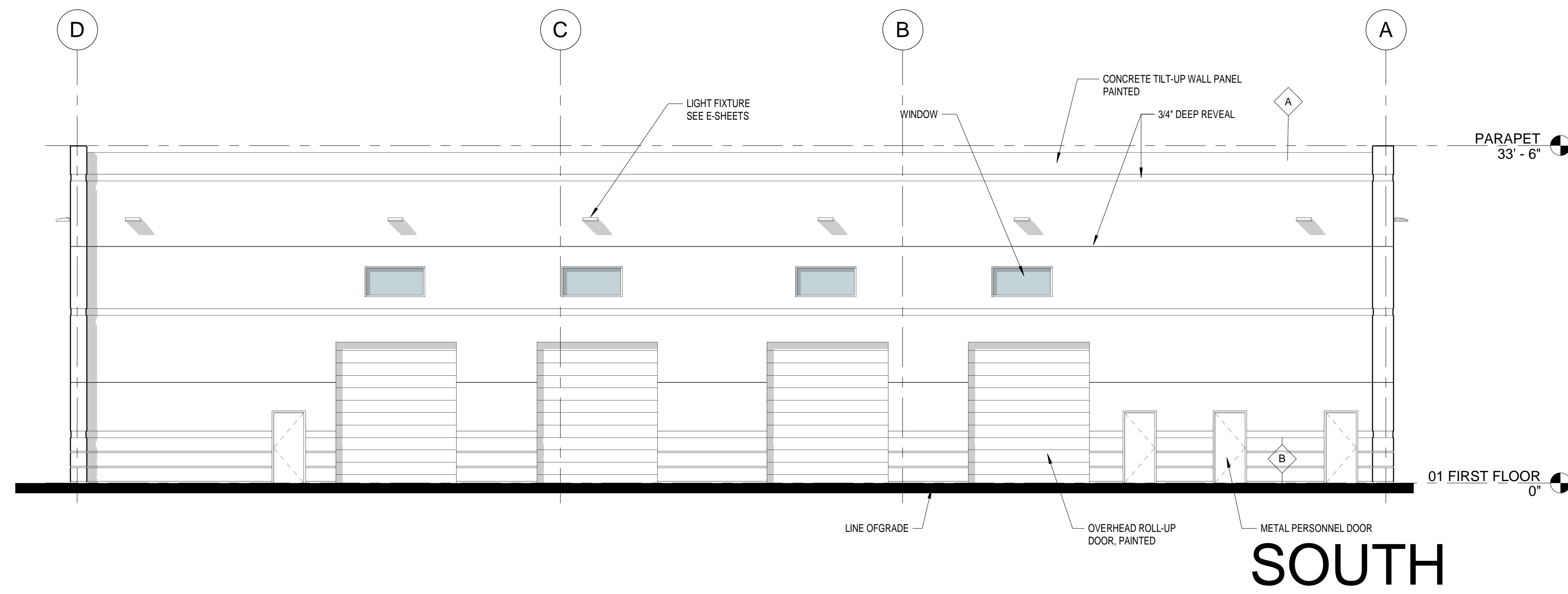
1/8" = 1'-0"



**FIRST FLOOR PLAN**

1/8" = 1'-0"

Name	Area
FIRST FLOOR	14633 SF
SECOND FLOOR B201	1393 SF
SECOND FLOOR B202	1393 SF
Grand total	17419 SF



**EXTERIOR PAINT :**

- PAINT MFR: SHERWIN WILLIAMS
- ◆ A NEUTRAL GROUND SW7568
  - ◆ B URBAN JUNGLE SW9117
  - ◆ C GAUNTLET GRAY SW7019
  - ◆ D CEREMONIAL GOLD SW6382
- ALTERNATE COLORS FOR ACCENT PAINT 'D' INCLUDE:
1. MATOH FRAZEE CL2807N WALLABIE
  2. JASPER STONE SW9133

**GLAZING FRAMING**

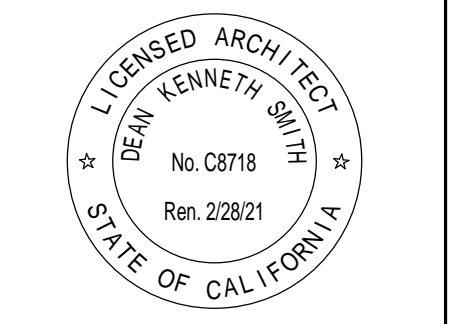
CLASS I CLEAR ANODIZED ALUMINUM

**EXTER LIGHT FIXTURES**

SILVER METALIC

**TECH CONTRACTORS**

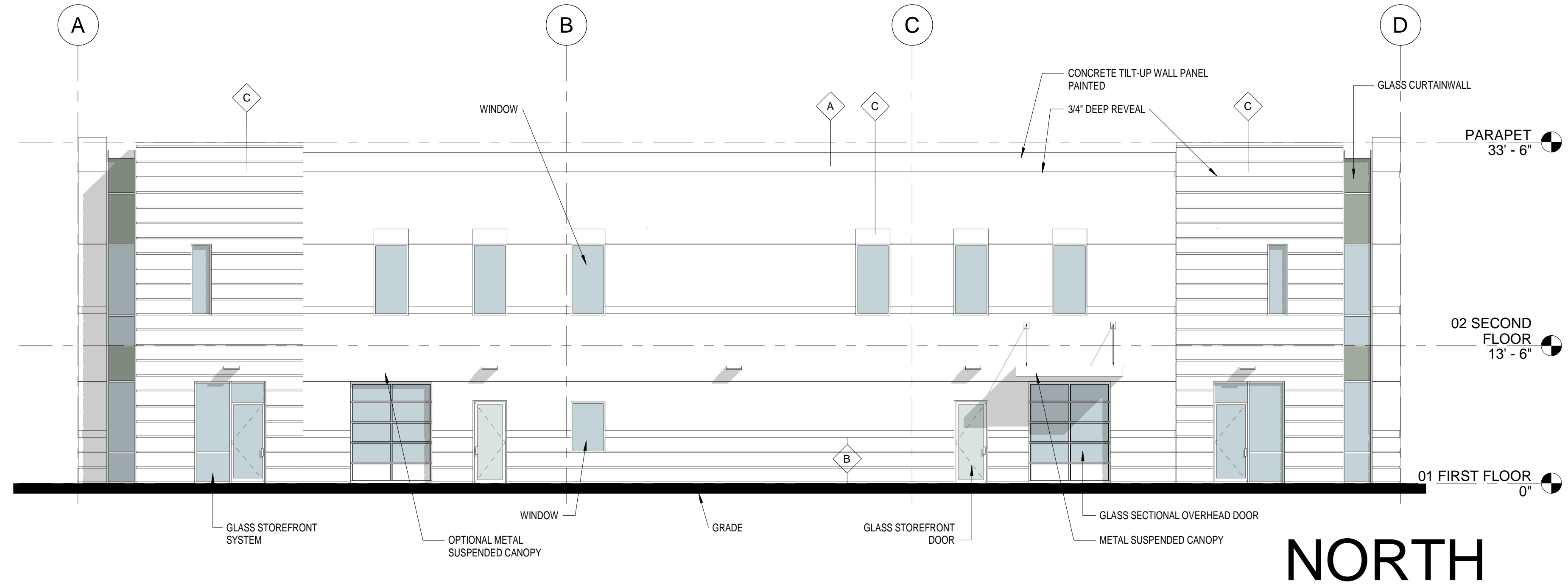
3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.1663



DATE: 4-28-2021  
JOB NO: CON3  
DRAWN BY: DS

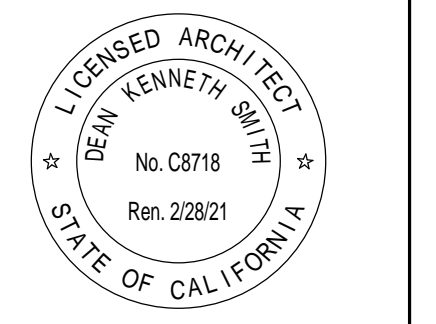
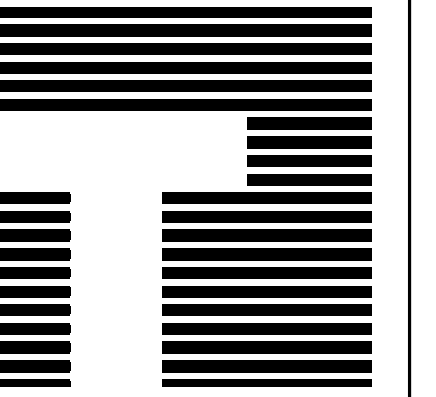
Revision Schedule

#	Date	Description



BUILDING B  
**LOT 3**  
CARLSBAD OAKS NORTH

**DD6.0**

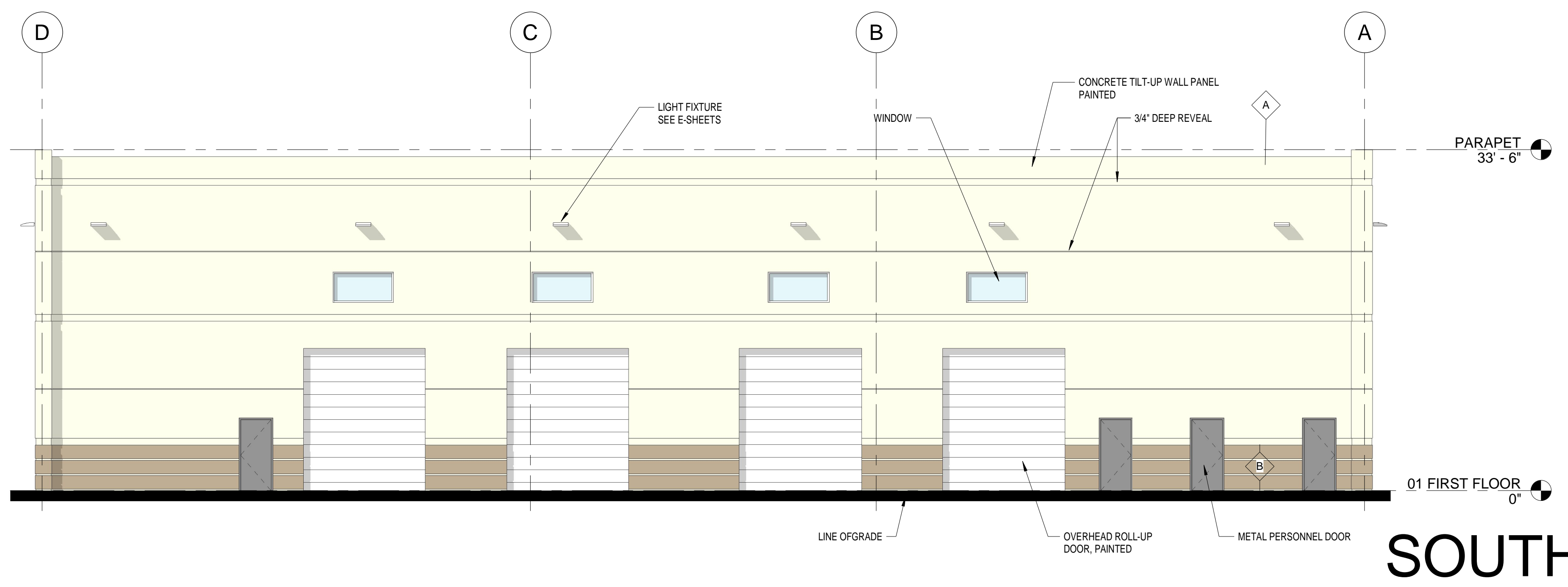


DATE: 4-28-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule

#	Date	Description

BUILDING B  
**LOT 3**  
CARLSBAD OAKS NORTH



**EXTERIOR PAINT :**  
PAINT MFR: SHERWIN WILLIAMS

- ◇ A NEUTRAL GROUND SW7568
- ◇ B URBAN JUNGLE SW9117
- ◇ C GAUNTLET GRAY SW7019
- ◇ D CEREMONIAL GOLD SW6382

ALTERNATE COLORS FOR ACCENT PAINT 'D' INCLUDE:  
1. (MATCH) FRAZEE CL2807N WALLABIE  
2. JASPER STONE SW9133

**GLAZING FRAMING**  
CLASS I CLEAR ANODIZED ALUMINUM

**EXTER LIGHT FIXTURES**  
SILVER METALIC

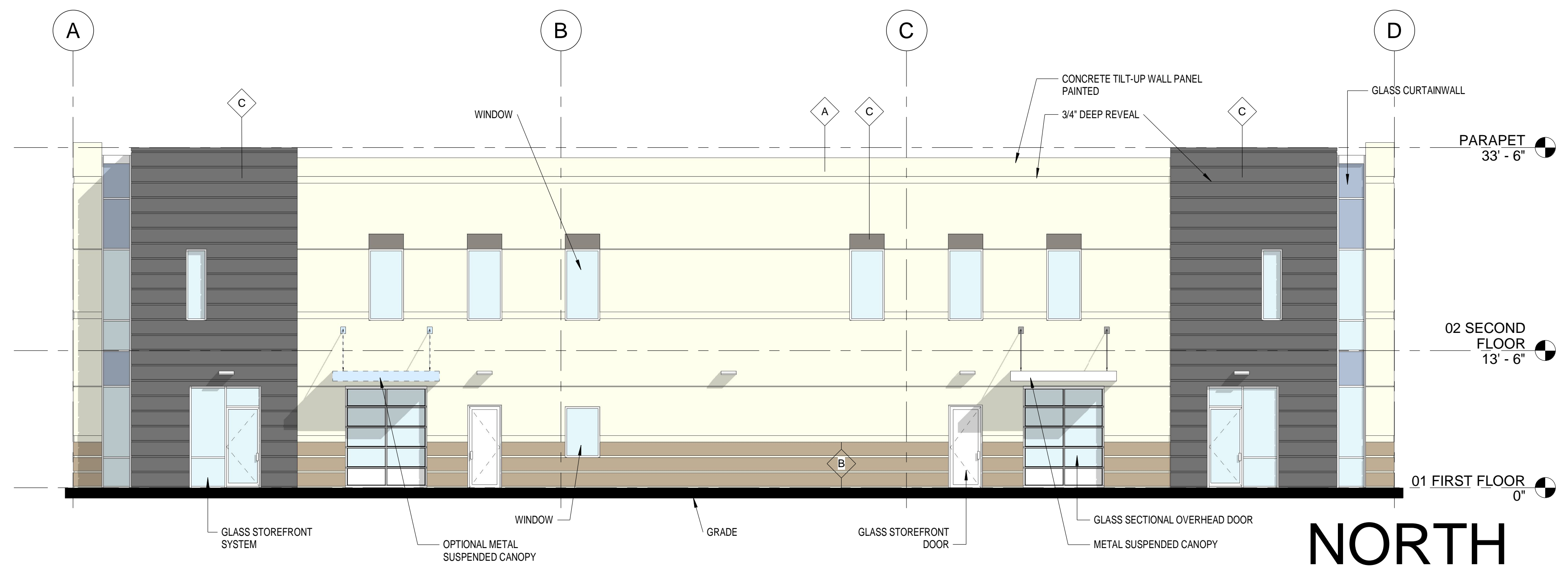
**SOUTH**



**EAST**

**WEST**

1/8" = 1'-0"



**NORTH**



**Building B  
NORTHEAST  
CORNER**

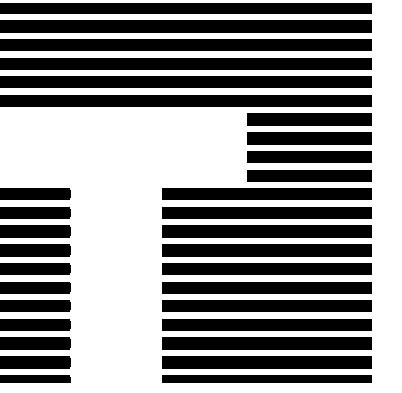


**Building B  
NORTHWEST  
CORNER**

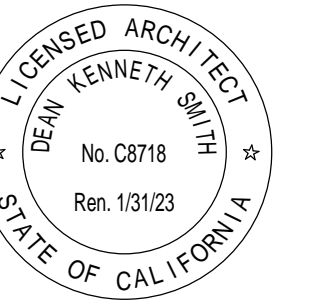


**Building B  
SOUTHWEST  
CORNER**

**TECH  
CONTRACTORS**



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.2865



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule

#	Date	Description


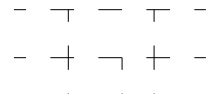
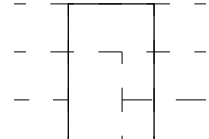
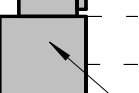


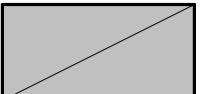
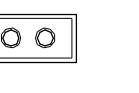

NEW INDUSTRIAL DEVELOPMENT

**LOT 3**

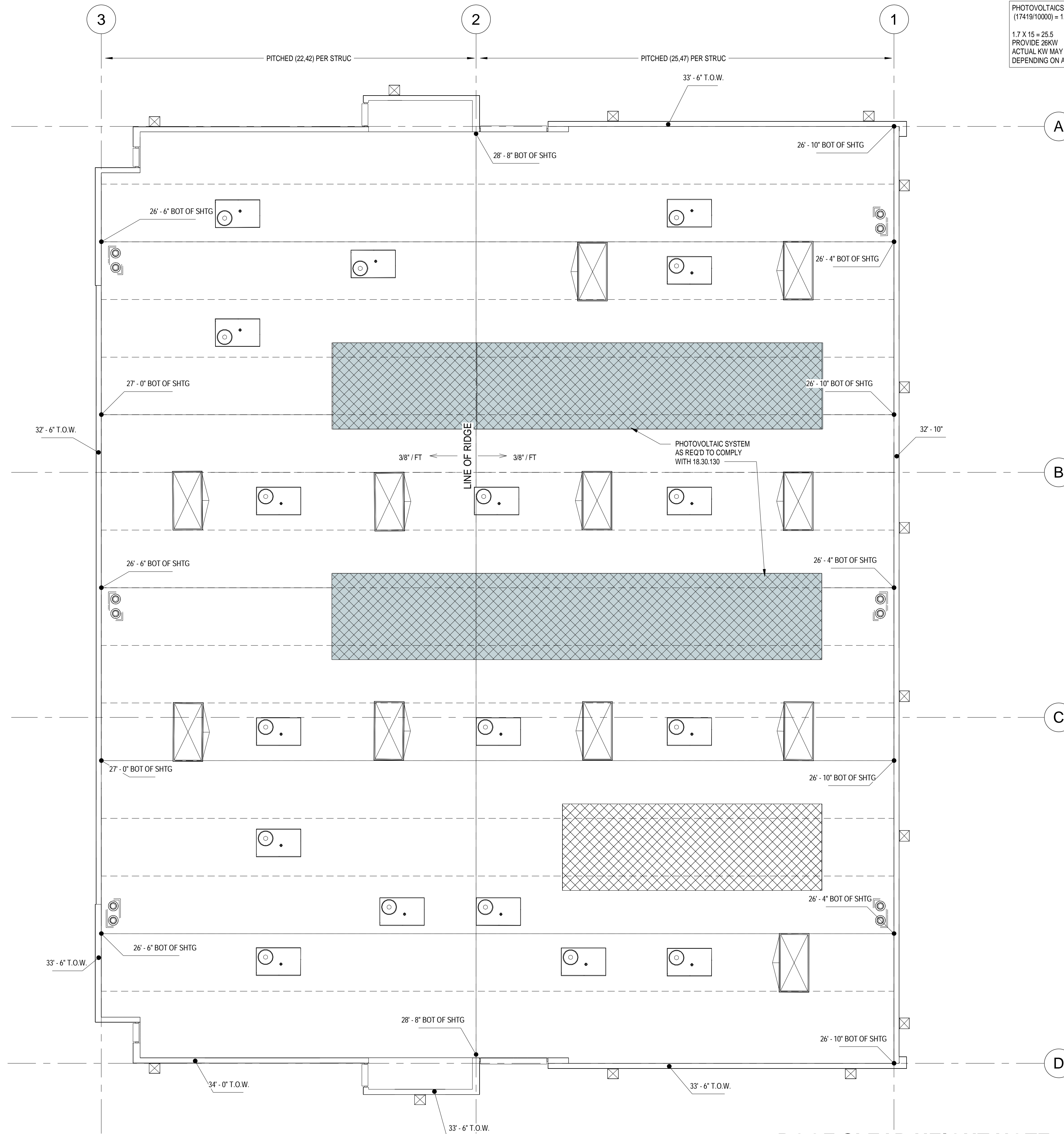
CARLSBAD OAKS NORTH

**DD6.2**

# ROOF LEGEND

-  30' x 36" STEEL ROOF HATCH BY "POTTER-ROEMER" - SEE DETAIL
-  EQUIPMENT PLATFORM FRAMING ONLY - VERIFY LOCATION - SEE MECHANICAL PLANS AND DETAIL
-  EQUIPMENT PLATFORM CURB & FRAMING - VERIFY LOCATION - SEE MECHANICAL PLANS AND DETAIL
-  MECHANICAL EQUIPMENT PLATFORM & FRAMING - VERIFY LOCATION - SEE MECHANICAL PLANS AND DETAIL
-  14" DIA. WHIRLYBIRD TURBINE VENTILATOR BY "LOMANCO" ON ROOF (PROVIDE 18" MIN. CLR TO SKYLIGHTS) - SEE
-  SKYLIGHT 4'-0" x 8'-0" SIGNATURE SERIES (AL) (O) (OG) w/ 90% HAZE RATING BY "SUNOPTICS PRISMATIC SKYLIGHTS" (AAMA CERTIFICATION PROGRAM REPORT # 77953.02-301-44 REV. 2) - SEE DETAIL
-  SMOKE HATCH DOME 4'-0" x 8'-0" w/ 90% HAZE RATING BY "SUNOPTICS PRISMATIC SKYLIGHTS" (Fusible link rating: 360 degrees F.) SMOKE HATCH SHALL COMPLY w/ UL E 331570 and CBC STD 15-7 SEE DETAIL
-  CAST IRON ROOF DRAIN and OVERFLOW COMBINATION. SEE PLUMBING PLANS BY OTHERS FOR SIZES AND DETAIL
-  CAST IRON ROOF DRAIN w/ SCUPPER THRU WALL. SEE PLUMBING PLANS BY OTHERS FOR SIZES AND DETAIL

- NOTES:**
- WHERE CROSS-FALL AT LEADING EDGE OF EQUIPMENT PLATFORM IS LESS THAN 1/4" PER FOOT, PROVIDE CRICKET AS REQUIRED TO DIVERT WATER.
  - CONSULT THE ROOFING MATERIAL MANUFACTURER FOR NUMBER AND LOCATION(S) OF CONTROL JOINT(S). FOR CONTROL JOINT DETAIL, SEE



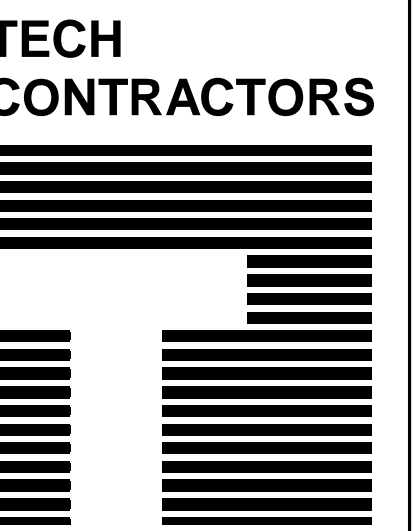
PHOTOVOLTAICS:  
(17419/10000) = 1.74  
1.7 X 15 = 25.5  
PROVIDE 25KW  
ACTUAL KW MAY DIFFER AT TIME OF BUILDING PERMIT  
DEPENDING ON ACTUAL SQUARE FOOTAGE PROPOSED

**ROOF CLEAR HEIGHT NOTE**  
24' - 0" MINIMUM CLEAR HEIGHT

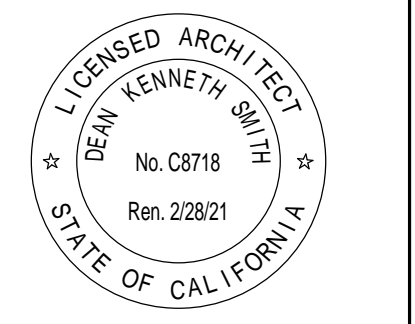
CLASS 'A' ROOF REQUIRED

# ROOF PLAN

1/8" = 1'-0"



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.1663



DATE: 4-28-2021  
JOB NO: CON3  
DRAWN BY: DS

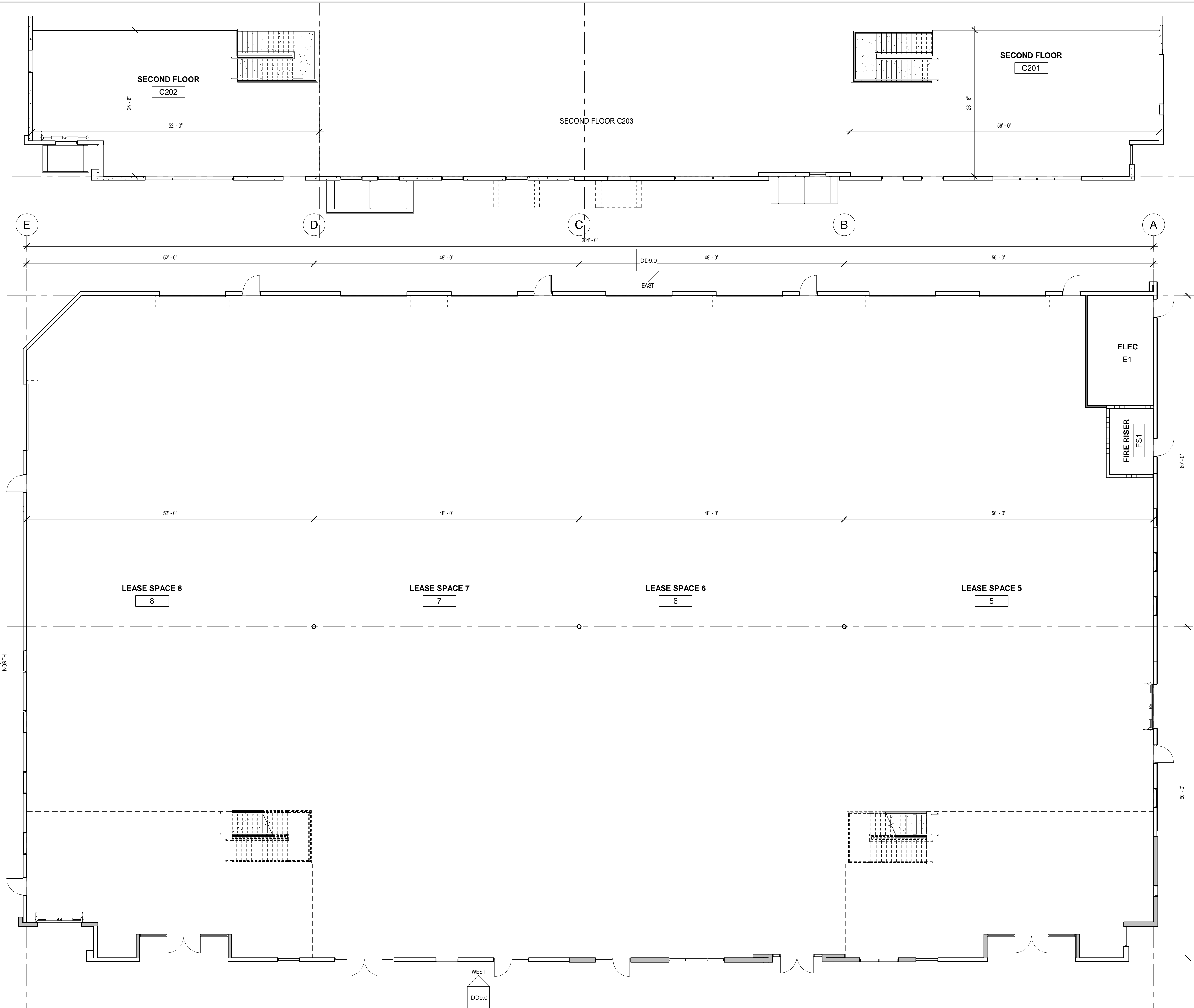
Revision Schedule

#	Date	Description

BUILDING B  
**LOT 3**  
CARLSBAD OAKS NORTH

**DD7.0**

6/2/2021 11:23:55 AM D:\00PROJECTS\00CARLSBAD\CON3\00CURRENT  
-REVIT MODELS\CON3 BUILDING C.rvt



# SECOND FLOOR PLAN

1/8" = 1'-0"

3

1

2

3

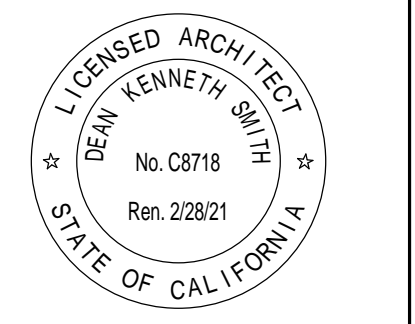
Name	Area
FIRST FLOOR	24772 SF
SECOND FLOOR C201	1370 SF
SECOND FLOOR C202	1211 SF
SECOND FLOOR C203	2612 SF
Grand total	29965 SF

# FIRST FLOOR PLAN

1/8" = 1'-0"

**TECH CONTRACTORS**

3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.1663



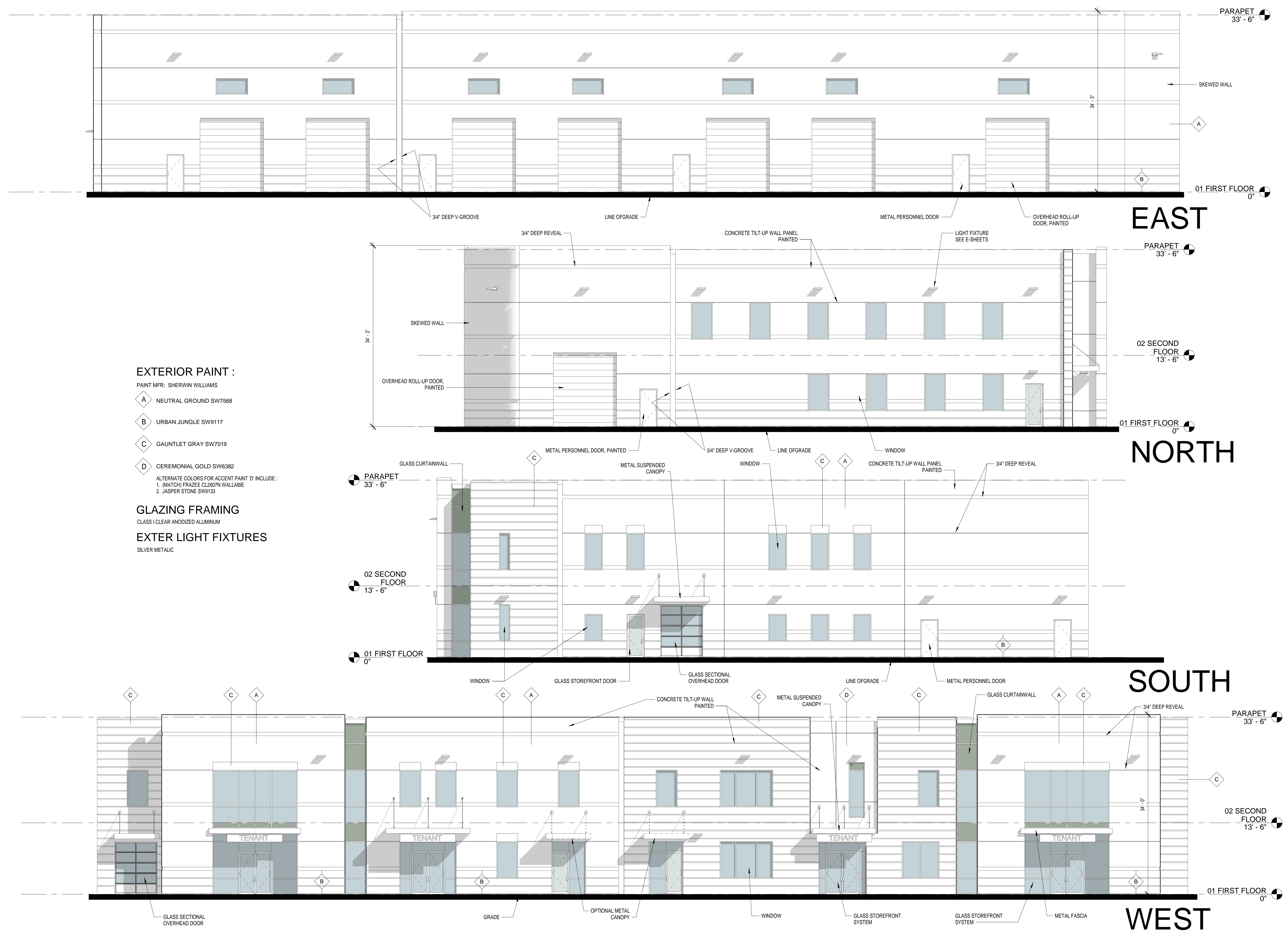
DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

Revision Schedule		
#	Date	Description

BUILDING C  
**LOT 3**  
CARLSBAD OAKS NORTH

**DD8.0**





**EXTERIOR PAINT :**  
PAINT MFR: SHERWIN WILLIAMS

- A** NEUTRAL GROUND SW7568
- B** URBAN JUNGLE SW9117
- C** GAUNTLET GRAY SW7019
- D** CEREMONIAL GOLD SW6382

ALTERNATE COLORS FOR ACCENT PAINT 'D' INCLUDE:  
1. (MATCH) FRAZEE CL2607N WALLABIE  
2. JASPER STONE SW9133

**GLAZING FRAMING**  
CLASS I CLEAR ANODIZED ALUMINUM

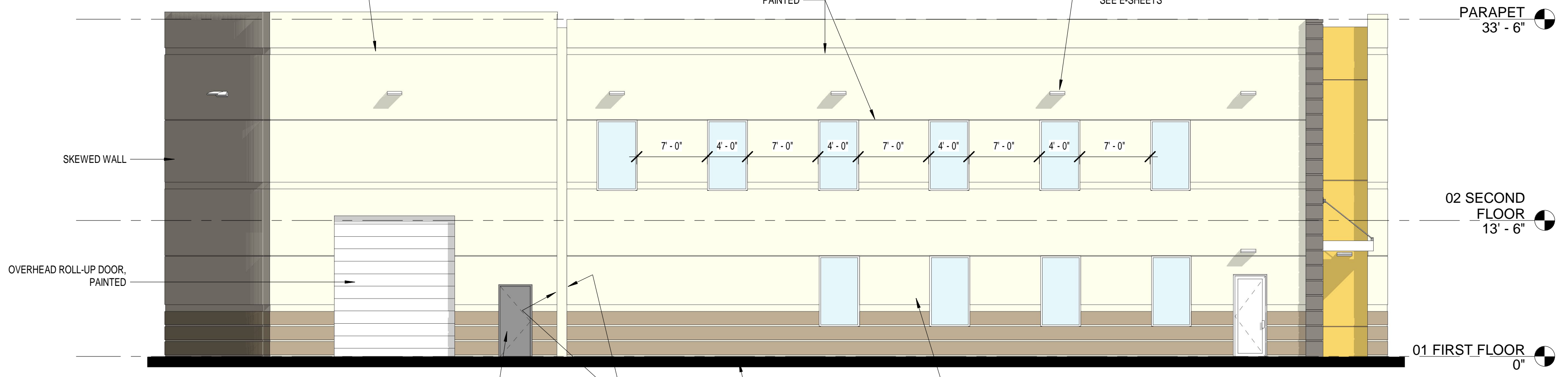
**EXTER LIGHT FIXTURES**  
SILVER METALIC

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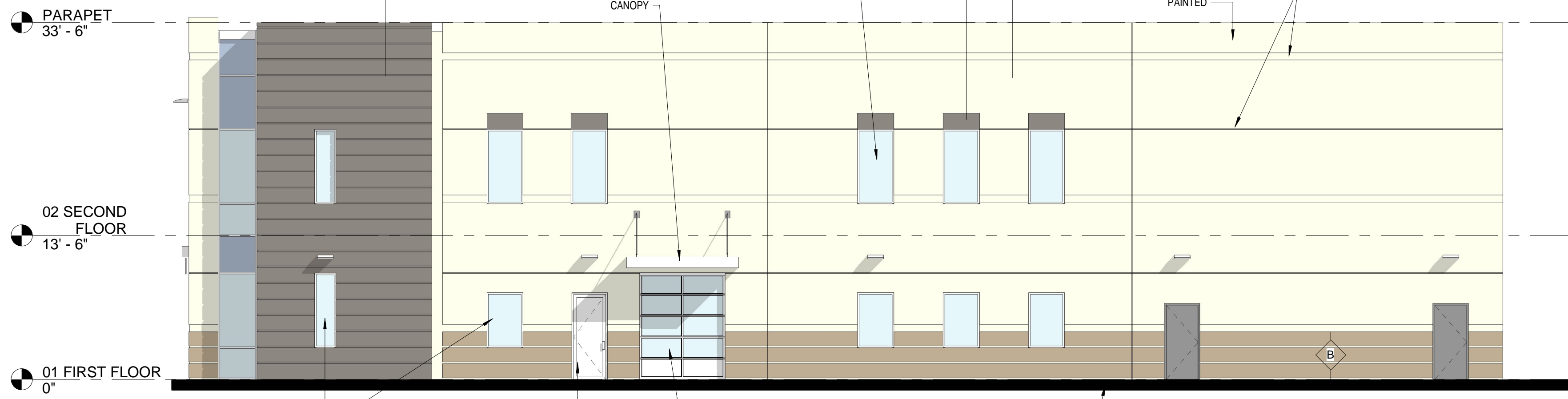
# EAST

1/8" = 1'-0"



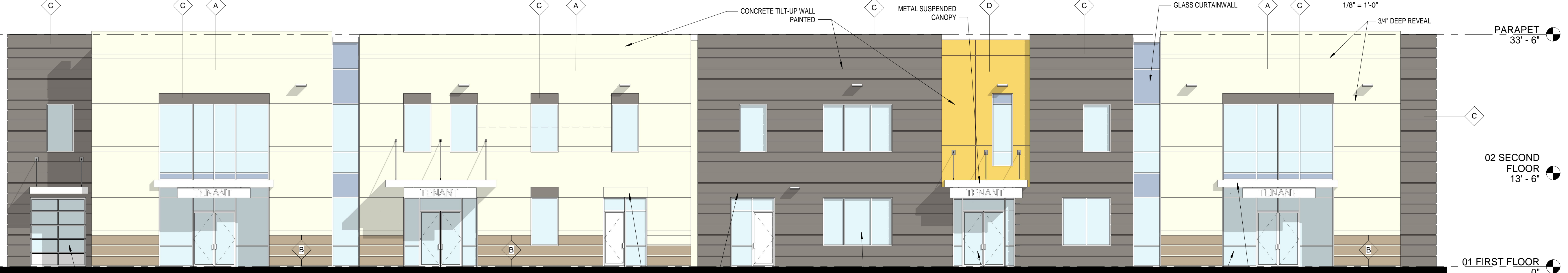
# NORTH

1/8" = 1'-0"



# SOUTH

1/8" = 1'-0"



# WEST

1/8" = 1'-0"

### EXTERIOR PAINT :

PAINT MFR: SHERWIN WILLIAMS

- A NEUTRAL GROUND SW7568
- B URBAN JUNGLE SW9117
- C GAUNTLET GRAY SW7019
- D CEREMONIAL GOLD SW6382

ALTERNATE COLORS FOR ACCENT PAINT 'D' INCLUDE :

- 1. (MATCH) FRAZEE CL2807N WALLABIE
- 2. JASPER STONE SW9133

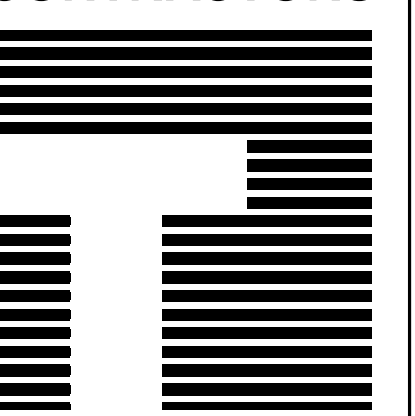
### GLAZING FRAMING

CLASS I CLEAR ANODIZED ALUMINUM

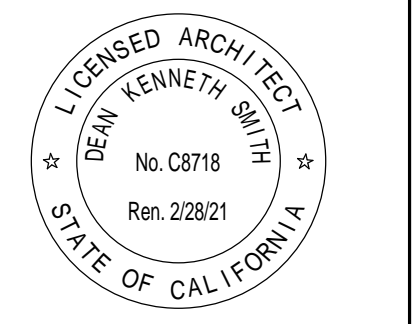
### EXTER LIGHT FIXTURES

SILVER METALIC

### TECH CONTRACTORS



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.1663



DATE: 6-10-2021  
JOB NO: CON3  
DRAWN BY: DS

### Revision Schedule

#	Date	Description
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BUILDING C  
**LOT 3**  
CARLSBAD OAKS NORTH

**DD9.1**



**Building C  
NORTHWEST  
CORNER**

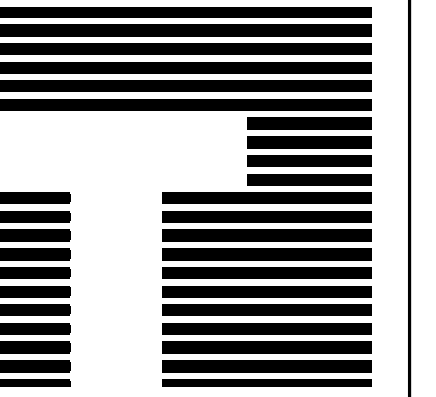


**Building C  
SOUTHEAST  
CORNER**

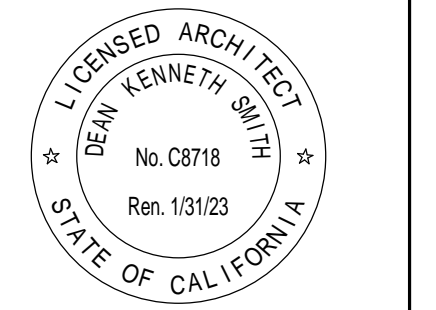


**Building C  
SOUTHWEST  
CORNER**

**TECH  
CONTRACTORS**



3575 Kenyon Street  
Suite 200  
San Diego, CA 92110  
619.223.2865

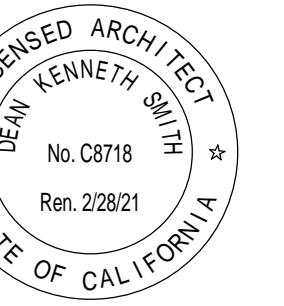
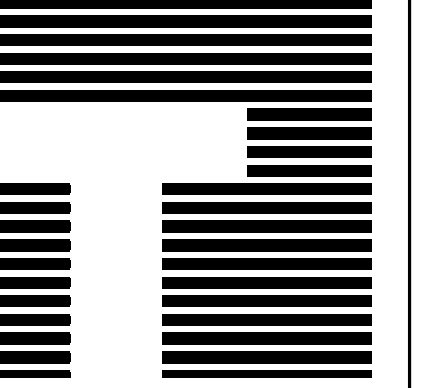


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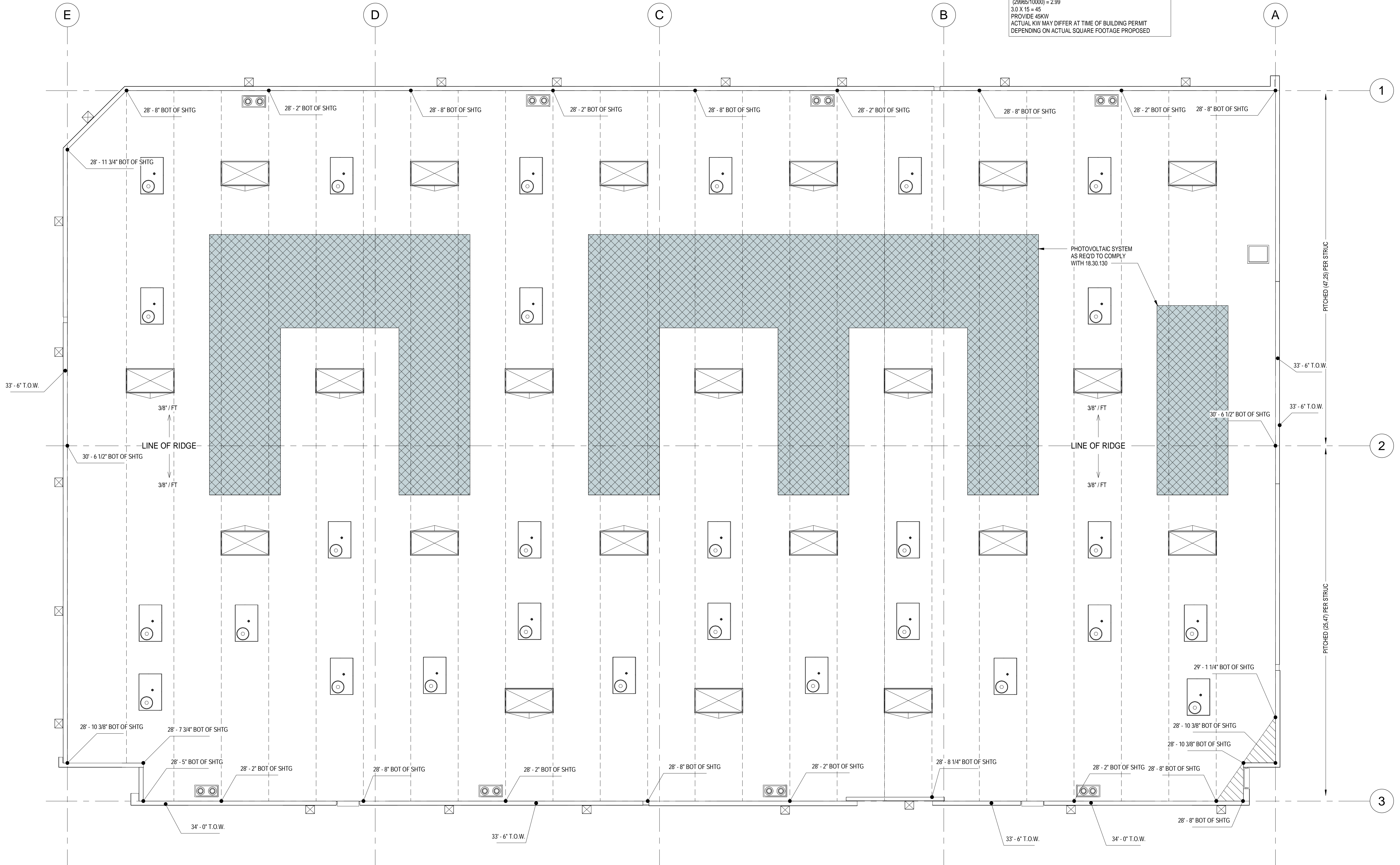
NEW INDUSTRIAL DEVELOPMENT  
**LOT 3**  
CARLSBAD OAKS NORTH

**DD9.2**



Revision Schedule		
#	Date	Description

PHOTOVOLTAICS:  
(29965/1000) = 2.99  
3.0 X 15 = 45  
PROVIDE 45KW  
ACTUAL KW MAY DIFFER AT TIME OF BUILDING PERMIT  
DEPENDING ON ACTUAL SQUARE FOOTAGE PROPOSED



**ROOF LEGEND**

- 30" x 36" STEEL ROOF HATCH BY 'POTTER-ROEMER' - SEE DETAIL
- EQUIPMENT PLATFORM FRAMING ONLY - VERIFY LOCATION. SEE MECHANICAL PLANS AND DETAIL
- EQUIPMENT PLATFORM CURB & FRAMING - VERIFY LOCATION. SEE MECHANICAL PLANS AND DETAIL
- MECHANICAL EQUIPMENT, PLATFORM & FRAMING - VERIFY LOCATION. SEE MECHANICAL PLANS AND DETAIL
- SKYLIGHT 4'-0" x 8'-0" SIGNATURE SERIES (AL) (O) (OG) w/ 90% HAZE RATING BY 'SUNOPTICS PRISMATIC SKYLIGHTS' (AAMA CERTIFICATION PROGRAM REPORT # 77953.02-301-44 REV. 2) - SEE DETAIL
- SMOKE HATCH DOME 4'-0" x 8'-0" w/ 90% HAZE RATING BY 'SUNOPTICS PRISMATIC SKYLIGHTS' (Fusible link rating: 360 degrees F.) SMOKE HATCH SHALL COMPLY w/ UL E 331570 and CBC STD 15-7 SEE DETAIL.

- CAST IRON ROOF DRAIN AND OVERFLOW COMBINATION. SEE PLUMBING PLANS BY OTHERS FOR SIZES AND DETAIL
- CAST IRON ROOF DRAIN w/ SCUPPER THRU WALL. SEE PLUMBING PLANS BY OTHERS FOR SIZES AND DETAIL

**NOTES:**

- WHERE CROSS-FALL AT LEADING EDGE OF EQUIPMENT PLATFORM IS LESS THAN 1/4" PER FOOT, PROVIDE CRICKET AS REQUIRED TO DIVERT WATER.
- CONSULT THE ROOFING MATERIAL MANUFACTURER FOR NUMBER AND LOCATION(S) OF CONTROL JOINT(S). FOR CONTROL JOINT DETAIL, SEE

**ROOF CLEAR HEIGHT NOTE**

24' - 0" MINIMUM CLEAR HEIGHT

**ROOF PLAN**

1/8" = 1'-0"

CLASS 'A' ROOF REQUIRED